

## PLANNING APPLICATIONS COMMITTEE

### CASE OFFICER REPORT

15 February 2024

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<u>APPLICATION NO.</u>	<u>DATE VALID</u>
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23/P1053	18/05/2023
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**Site Address:** 1 Lambourne Avenue, Wimbledon Park, London, SW19 7DW

**Ward:** Wimbledon Park

**Proposal:** DEMOLITION OF THE EXISTING DILAPIDATED HOUSE AND ERECTION OF A NEW HOUSE INCLUDING LANDSCAPING AT THE FRONT AND THE REAR GARDEN

**Drawing Nos:** See Condition 2.

**Case Officer:** Charlotte Gilhooly

### RECOMMENDATION

Grant permission subject to conditions.

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### CHECKLIST INFORMATION

Character	Residential
Is a screening opinion required	No
Is an Environmental Statement required	No
Press notice	Yes
Site notice	Yes
Design Review Panel consulted	No
Number of neighbours consulted	24
External consultations	10
Internal consultations	5
Controlled Parking Zone	Yes (P2s)

Public Transport Accessibility Rating (PTAL)	2
Tree Protection Order	Yes (1 x Sweet Gum Tree at the rear)
Flood Zone	Flood zone 1 but the site is located in an area know for surface water flooding
Statutory Listed Building	No
Locally Listed Building	No
Conservation Area	Yes - Wimbledon North Conservation Area
Archaeological Priority Zone	Yes (Tier 2)

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## INTRODUCTION

The application has been brought to the Development and Planning Applications Committee due to the number of objections received.

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## **1. SITE AND SURROUNDINGS**

- 1.1 The application site consists of a 2 x storey detached house which is located on the north east side of Lambourne Avenue in Wimbledon Park. The houses in the immediate area are traditional in style with red bricks and clay roof tiles. It is noted 3 Lambourne Avenue has been extended at the rear at the 2 storey level and replacement dwellings have recently been built at 5 and 7 Lambourne Avenue.
- 1.2 The existing building is in a very poor state of repair but sits well within its context due to its simple roof form and how it relates to the streetscene.
- 1.3 The site benefits from a long rear garden and there is a mature sweet gum tree to the rear of the site which has protected by a tree preservation order during the application process. Other mature trees are present towards the rear boundary of the garden and overall the garden and front garden is largely overgrown. The site is not statutorily or locally listed but is located within a Conservation Area and Archaeological Priority Area Tier 2.

## **2. HISTORICAL BACKGROUND**

- 2.1 The Wimbledon North Character Appraisal (2008) describes Lambourne Avenue as the following:
- 2.2 13.1.4 : Lambourne Avenue and the backland development to the north and east of it are now included primarily because the buildings and their treed gardens form part of the historic, wooded backdrop to Wimbledon Park, and the road also facilitates a long view over the Park from within Arthur Road.
- 2.3 13.10.26: By 1965 the Ordnance Survey map shows the former grounds of Wimbledon Park House to be playing fields, with a central pavilion. Many of the Ricards Lodge School buildings are shown, together with Currie Hill Close. The road at Lambourne Avenue is partly laid out, and the houses at Nos. 1 – 5 built. The only building on the east side of Leopold Road erected between the publication of the 1913 map and the present day, (No.68a), is now shown.
- 2.4 Lambourne Avenue: The development of six large, detached houses at the northern end of this cul-de-sac is of an irregular layout, with the houses sited on various shaped plots and accessed from quite long drives off the turning head. These houses relate well with the natural contours of the ground, and are predominantly at a lower level than the road, set in landscaped grounds.
- 2.5 The houses on the north east side have a regular set back from the road and only narrow spaces between them, while those on the south west side have a more staggered building line and wider gaps between which allow views through to mature planting in rear gardens. Most are on rectangular plots. The highway and the arrangement of buildings combine to form a long, wide gap when viewed from within Arthur Road. This allows an extensive view across the wooded gardens to Wimbledon Park and beyond.

2.6 Most of the houses are two storeys high, detached, and of red brick with clay or concrete tile hipped or gabled roofs.

### 3. PROPOSED DEVELOPMENT

3.1 The proposed dwelling would involve the demolition of the existing detached dwelling and the erection of a 3 x storey, detached dwelling, with a crown roof. The dwelling would be loosely designed in a traditional style but with some modern elements. It would comprise of 5 x bedrooms with ensuite bathrooms, a kitchen/living/dining area, a back of house kitchen, plant room, garage, drawing room, cloak room and an office area.

3.2 The proposed new dwelling would follow the same front building line as per existing.

3.3 The proposed new dwelling would be 10.75m-13.79m wide, 16.26m deep at single storey level, 14.73m deep at 1<sup>st</sup> and 2<sup>nd</sup> floor level and would have an eaves height of 5.73m an overall ridge height of 8.7m.

3.4 Proposed materials include: Brick and tiles similar to existing and powder coated aluminium windows.

3.5 AMENDED PLANS: Plans have been amended several times during the application process following officer advice to remove the proposed outbuilding at the rear of the site, reduce the width of the external roof terrace, reduce the depth of the proposal at all floor levels and to retain the sweet gum tree at the rear as well as rear mature trees at the rear boundary. Amendments also include setting the garage area back slightly from the front elevation so it remains subservient in the streetscene. The arboricultural report was also amended to take account of amendments.

The scheme would provide the following housing mix and schedule of accommodation:

	Type	GIA	External Private amenity space (not including roof terrace)	Is there sufficient space for cycle parking?	Car parking
1 Lambourne Avenue	5b	406.37sq.m	107.57 sq m	Yes	2/3 spaces

### 4. PLANNING HISTORY

1 Lambourne Avenue

- 22/T0216: 1A LAMBOURNE AVENUE: REAR GARDEN: LARGE BLUE CEDAR TREE - REDUCE CROWN BY 1-2 METRES. TREE WORKS APPROVED.
- MER41/65: ERECTION OF A TWO STOREY ADDITION AT REAR TO FORM STUDY PLAYAREA, ADDITIONAL BEDROOM AND BATHROOM. REFUSE PERMISSION. 22/04/1965.

### 3 Lambourne Avenue

15/P1527: ERECTION OF A PART SINGLE PART TWO STOREY REAR EXTENSION, ROOF EXTENSION INVOLVING RAISING THE ROOF HEIGHT AND 2 X DORMER ROOF EXTENSIONS TO FRONT ROOF SLOPE ANND ONE LARGER DORMER IN THE REAR ROOF SLOPE. GRANT PERMISSION SUBJECT TO CONDITIONS. 08/07/2015.

### 5 Lambourne Avenue

14/P0043: DEMOLITION OF EXISTING HOUSE AND CONSTRUCTION OF A NEW DETACHED FAMILY HOUSE WITH BASEMENT (MODIFICATION OF PLANNING APPROVAL 13/P3185 TO INCLUDE CHANGES TO REAR BAY WINDOW, NEW FRONT DORMER AND NEW PERGOLA TO REAR PATIO). GRANT PERMISSION SUBJECT TO CONDITIONS 17/02/2014.

### 7 Lambourne Avenue

16/P4672: DEMOLITION OF EXISTING BUILDING AND ERECTION OF 2 X TWO STOREY DETACHED HOUSES INCLUDING ACCOMMODATION AT BASEMENT AND ROOF LEVELS. GRANT PERMISSION SUBJECT TO SECTION 106 OBLIGATION OR ANY OTHER ENABLING AGREEMENT. 05/09/2017.

## **5. CONSULTATION**

Consultation letters were sent to neighbouring properties and a site and press notice was published. 1 x comment and 10 x representations have been received raising objection which are summarised below.

After plans were amended and a re-consultation was issued with neighbouring properties, no further representations or comments have been received.

### 5.1 EXTERNAL COMMENTS RECEIVED

- Swift birds are endangered in the UK and at risk of extinction.
- The proposal is a good opportunity to integrate swift bricks and bird boxes into the scheme.

### 5.2 EXTERNAL REPRESENTATIONS

#### Wimbledon Society

- The proposed large, nearly square front and rear dormers are too large and need to be reduced so they are more in keeping with the surrounding streetscene.
- It is to be regretted that the external elevations lack any features of decoration or interest and we suggest that the opportunity be taken to require the addition of such features.
- The energy report recommends the installation of solar cells and an air source heat pump and this is to be applauded. However, neither of these features appears in any of the drawings and we suggest that the installation of these facilities be made a condition of the permission.
- We would also suggest that a further condition be imposed requiring that the screen around the first-floor balcony be at least 1.8m high and made of opaque material to avoid overlooking concerns.
- The proposed outbuilding at the bottom of the garden would be inherently suitable for independent occupation but it is our belief that this would not be permissible. It is requested that a condition be imposed preventing occupation independent of the main building and prohibiting letting separately from the main building.
- It is therefore requested that the application be refused or that the applicant be required to modify the proposal to deal with the points raised above.

### 5.3 Historic England (GLAAS)

- Having considered the proposals with reference to information held in the Greater London Historic Environment Record and/or made available in connection with this application, I conclude that the proposal is unlikely to have a significant effect on heritage assets of archaeological interest.
- The planning application lies in an area of archaeological interest (Archaeological Priority Area) identified in the Local Plan: [77002] Wimbledon Village.
- No further assessment or conditions are therefore necessary.

### 5.4 OTHER EXTERNAL REPRESENTATIONS RECEIVED:

- The proposed outbuilding would result in overdevelopment of the site and potentially more noise.
- No biodiversity assessment has been undertaken
- The proposed removal of such a large number of trees would be harmful to the character of the site and the surrounding conservation area.
- The trees can be seen from a large area and help to mitigate against noise and soften the landscape.
- The proposed outbuilding would harm the trees at the rear of the site.

- 4 x mature trees are incorrectly shown in Arb report and proposed plans.
- The scale of the outbuilding is unacceptable in its current form.
- Trees T009, T0010, T011, T012, T013 are wrongly identified as trees located in Burnwood Lodge when in fact they are in the curtilage of 1 Lambourne Avenue.
- The proposed new dwelling would be much closer to our rear fence and could result in a loss of light, create a sense of enclosure, result in a loss of privacy and could cause more noise.
- We are concerned the proposed windows in the first floor side elevation and the proposed balcony would result in overlooking.
- The proposed dwelling would be overbearing.
- I am concerned the proposed garage has asbestos in it and will need to be removed safely. Please can conditions be attached to any permission to ensure it can be safely removed.
- The proposal would be overwhelming and look directly into our back garden. (77 Arthur Road).
- The scale of the outbuilding is unacceptable in its current form.
- The proposal will have a harmful impact on property prices and the proposed balcony will result in a loss of privacy.
- The removal of trees will have a harmful impact on flooding and the green surroundings in the immediate area.
- The proposed dwelling would result in unacceptable construction noise and not enough consideration has gone into drainage.
- The proposal would result in overdevelopment and needs to be scaled down to reduce the sense of enclosure for 3 Lambourne Avenue.
- The house needs to have obscure glazed windows which face 3 Lambourne Avenue

## 5.5 INTERNAL COMMENTS

### 5.6 Conservation Officer

I know the building. I've seen it when I have been doing other site visits in Lambourne Road. There is no issue about it being demolished. But it would like to see a more interesting replacement house which will have a real positive impact on the conservation area. This road is becoming very mundane. Another thing, a space on the north side of the house between the garage and the boundary. This would be an enhancement. I'm a bit concerned about the independent living unit in the back garden. Not the building, the building is ok, but the use.

5.7 Flood Risk Officer:

Recommend the following condition:

Condition: Prior to the commencement of development, a detailed scheme for the provision of surface and foul water drainage shall be submitted to and approved in writing by the local planning authority for (both phases of) the development. The drainage scheme will dispose of surface water by means of a sustainable drainage system (SuDS) at the agreed runoff rate (no more than 1.0l/s, with no less than 14.25m<sup>3</sup> of attenuation volume), in accordance with drainage hierarchy contained within the London Plan Policy (SI 13 and SPG) and the advice contained within the National SuDS Standards. The drainage plans shall include pipe sizes and direction of flow.

Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy SI

Informative: No surface water runoff should discharge onto the public highway including the public footway or highway. When it is proposed to connect to a public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required (contact no. 0845 850 2777). No waste material, including concrete, mortar, grout, plaster, fats, oils and chemicals shall be washed down on the highway or disposed of into the highway drainage system.

5.8 Highways Officer:

H9 INF9, INF12 - Please note that it is not clear on the drawings but if the applicant wants the existing vehicle crossover widened then they must apply via the Councils "Dropped Kerbs (vehicle crossovers)".

5.9 Transport Planner:

Recommendation:

Raise no objection subject to:

Car parking maintained.

Cycle parking: 2 for the house and one for the outbuilding (secure & undercover).

5.10 Tree Officer:

Comments following review of amended Arb Report and Plans:



This is a good result with the amended proposal. Provided all the protective measures described in the tree report are followed through to completion, the development should have a minimal impact on the Sweet Gum tree. I would recommend the following planning conditions:

**Tree Protection:** The details and measures for the protection of the existing trees as specified in the hereby approved document 'Arboricultural Impact Assessment and Method Statement' reference 'Rev.4' and dated 'Monday, 11 December 2023' and drawing number shall be fully complied with. The methods for the protection of the existing trees shall fully accord with all of the measures specified in the report and shall be installed prior to the commencement of any site works and shall remain in place until the conclusion of all site works.

**Reason:** To protect and safeguard the existing trees in accordance with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policy CS13 of Merton's Core Planning Strategy 2011 and policies DM D2 and 02 of Merton's Sites and Policies Plan 2014;

**Site Supervision (Trees)** – The details of the approved 'Arboricultural Impact Assessment and Method Statement' shall include the retention of an arboricultural expert to monitor and report to the Local Planning Authority not less than monthly the status of all tree works and tree protection measures throughout the course of the demolition and site works. A final Certificate of Completion shall be submitted to the Local Planning Authority at the conclusion of all site works. The works shall be carried out in accordance with the approved Arboricultural Method Statement and Tree Protection Plan.

## **6. POLICY CONTEXT**

### **6.1 National Planning Policy Framework (2023)**

- Chapter 2 Achieving sustainable development
- Chapter 5 Delivering a sufficient supply of homes
- Chapter 8 Promoting healthy and safe communities
- Chapter 9 Promoting sustainable transport
- Chapter 11 Making effective use of land
- Chapter 12 Achieving well-designed places
- Chapter 14 Meeting the challenge of climate change, flooding and coastal change
- Chapter 15 Conserving and enhancing the natural environment
- Chapter 16 Conserving and enhancing the historic environment

## 6.2 London Plan 2021

- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D8 Public Realm
- D6 Housing quality and standards
- G1 Green infrastructure
- SI 1 Improving air quality
- SI 4 Managing heat risk
- SI 5 Water infrastructure
- SI 2 Minimising greenhouse gas emissions
- SI 12 Flood risk management
- SI 13 Sustainable drainage
- GG1 Building strong and inclusive communities
- GG2 Making the best use of land
- GG3 Creating a healthy city
- G7 Trees and Woodlands
- H2 Small Sites
- HC1 Heritage conservation and growth
- T2 Healthy Streets
- T3 Transport capacity, connectivity and safeguarding
- T5 Cycling
- T6 Car parking

## 6.3 Merton Core Strategy (2011)

- CS8 Housing Choice
- CS9 Housing Provision
- CS14 Design
- CS15 Climate Change
- CS16 Flood Risk Management
- CS17 Waste Management
- CS18 Active Transport

- CS20 Parking, Servicing and Delivery

#### 6.4 Merton Sites and Policies Plan (2014)

- DM D2 Design considerations in all developments
- DM D3 Alterations and extensions to existing buildings
- DM D4 Managing Heritage Assets
- DM H2 Housing mix
- DM H4 Demolition and redevelopment of a single dwelling house
- DM F2 Sustainable urban drainage systems (SuDS) and; Wastewater and Water Infrastructure
- DM 02 Nature Conservation, Trees, hedges and landscape features
- DM T1 Support for sustainable transport and active travel
- DM T2 Transport impacts of development
- DM T3 Car parking and servicing standards
- DM EP2 Reducing and mitigating noise

### 7. PLANNING CONSIDERATIONS

The National Planning Policy Framework, London Plan H2 and the Council's Core Strategy Policy CS8 and CS9 all seek to increase sustainable housing provision and access to a mixture of dwelling types for the local community, providing that an acceptable standard of accommodation would be provided. Policy H2 of the London Plan 2021 also states that boroughs should seek to enable additional development capacity which includes intensification, developing at higher densities.

#### 7.1 The key planning considerations of the proposal are as follows:

- Principle of demolition
- Design and impact upon the character and appearance of the site and the surrounding Conservation Area
- Impact upon neighbouring amenity
- Impact on Trees
- Standard of accommodation
- Transport, parking and cycle storage
- Refuse
- Sustainability

- Drainage and flood risk

## 7.2 **PRINCIPLE OF DEMOLITION**

7.3 The existing building is considered to make a neutral contribution to the site and the surrounding Conservation Area. This is due to its overall height, scale and massing and how it relates to the streetscene and surrounding conservation area. However, the existing building is considered to be of limited historic value and is in a very poor state of repair especially at the rear where the ceiling of the 2 storey extension has collapsed and there has been water ingress.

7.4 The proposal to demolish the existing building is therefore considered acceptable in principle as there would be no net loss of a family unit and its loss would not be harmful to the significance of the Conservation Area. However, it is subject to the proposed new dwelling being sympathetic in design, scale and proportions to the existing character of the site, the streetscene and the surrounding Conservation Area. The proposals would also need to have to have an acceptable impact on trees, flooding, neighbouring amenity, provide a good standard of accommodation, meet sustainability requirements, with no harmful impacts on transport and the highway.

## 7.5 **CHARACTER AND APPEARANCE**

7.6 The NPPF states that developments should function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development. Developments should ensure that they are visually attractive and are sympathetic to local character and history, while not preventing or discouraging appropriate innovation or change (such as increased densities).

7.7 London Plan policies D3, D4, D8 and HC1, Core Strategy policy CS14 and SPP Policies DM D1, DM D2, DM D3 and DM D4 require well designed proposals that are of the highest architectural quality and incorporate a design that is appropriate to its context, so that development relates positively to the appearance, scale, bulk, form, proportions, materials and character of the original building and their surroundings, thus enhancing the character of the wider area.

7.8 The proposed dwelling has been amended during the application process following officer advice and is now considered to be of a scale, form and appearance which is in keeping with the site and the surrounding Conservation Area. The proposed dwelling would be pitched, would not go higher than the height of the existing house and would be set in at the side boundaries. It would also follow the same building line and the pitch of the roof would be similar to that of neighbouring properties. Officers note the Conservation Officers comments about the design of the proposed dwelling, however, the proposed dwelling would be reflective of the immediate neighbouring property. Further, officers note that the road contains a variety of dwellings, with more modern dwellings on the east side of the road. officers are therefore satisfied that the proposal would result in a new dwelling which would be in keeping with the road.

- 7.9 In terms of materials it is proposed that the new dwelling would be constructed from brick and tiles similar to match existing with powder coated metal windows. This is considered acceptable in principle subject to a condition on materials.
- 7.10 Under amended plans the proposed outbuilding has been removed from the proposals and the depth of the proposed dwelling has been reduced at all floor levels. As such, the proposal is now considered to sit comfortably within the site without resulting in an overdevelopment.

7.11 **TREES**

In response to the Tree Officers comments, plans were amended in part to protect the root protection area of the sweet gum tree and to also remove the proposed outbuilding which would have necessitated the removal of several trees at the rear. As such the impact on trees is now considered acceptable subject to the recommended tree conditions below.

7.12 **IMPACT ON NEIGHBOURING AMENITY**

The properties which could be affected by the proposal include 1A, 2 and 3 Lambourne Avenue, 73, 75, 77 and 77A Arthur Road and 83 Arthur Road.

7.13 2 Lambourne Avenue

There would be a separation distance of approximately 27m between the front elevation of 1 Lambourne Avenue and the front elevation of 2 Lambourne Avenue. As such, the additional overlooking which would result from the proposed dormers is not considered to result in a material increase in overlooking or a loss of privacy. Due to the separation distance and overall orientation of the site, the proposal is also not considered to be overbearing, visually intrusive or result in a loss of daylight sunlight to this neighbouring property.

7.14 3 Lambourne Avenue

The proposed dwelling would extend by a further 2.5m in depth at first floor level along this neighbour's shared boundary when compared to the existing dwelling. At single storey level the proposal would extend by a further 4.66m. However due to amendments during the application process the proposal has now been stepped in at single storey and 1st floor level, and as such there would now be a separation distance of approximately 4.9m at the side boundary at 1st floor level and the single storey outrigger would extend by approximately 1.6m beyond this neighbour's single storey outrigger but would also be stepped in by approximately 2.95m. In addition the balcony has been reduced in width and obscure glazing in the form of side panels would help prevent overlooking. Windows at 1st floor level in the side elevation facing this neighbour would also be obscured. As such, the amended proposals are now considered to have overcome the impact on amenity and are considered acceptable such to conditions below.

7.15 All units at 1A Lambourne Avenue and 73-77A Arthur Road  
There would be a 1m separation distance at the side boundary facing these properties. All windows at first floor level would also be obscure glazed and fixed shut and an obscure glazed screen is also proposed on both sides of the raised terrace. However It is noted due to the overall massing, the proposal would result in some increase in enclosure, primarily due to the increase in eaves height from 4.74m to 5.6m. Beyond the existing rear wall at single storey level, the proposal would extend by a further 4.62m, at 1<sup>st</sup> floor level the proposal would extend by a further 2.45m and at roof level the proposal would extend by 6m beyond the original rear wall of the existing house. However, it is noted the rear of the these adjoining properties are NW facing and there would be a reasonable separation distance of approximately 19-22m between the proposed side elevation and the rear elevations of 73-77 Arthur Road. As such the proposals are not considered to be overbearing, visually intrusive, result in a loss of daylight/sunlight or a loss of privacy to these neighbouring properties.

7.16 Flats at 83 Arthur Road  
There would be a separation distance of approximately 30m between the proposed rear elevation at 1<sup>st</sup> floor level and the existing rear boundary fence. As such the proposed dwelling is not considered to result in a loss of privacy, be visually intrusive, overbearing or result in a loss of daylight/sunlight.

Overall, the impact on neighbouring amenity for these adjoining properties is therefore considered acceptable.

#### 7.17 **STANDARD OF ACCOMMODATION**

7.18 Policy D6 of the London Plan states that housing developments should be of the highest quality internally and externally and should ensure that new development reflects the minimum internal space standards (specified as Gross Internal Areas GIA) as set out in Table 3.1 of the London Plan. Table 3.1 provides comprehensive detail of minimum space standards for new development; which the proposal would be expected to comply with. Policy DM D2 of the Adopted Sites and Policies Plan (2014) also states that developments should provide suitable levels of sunlight and daylight and quality of living conditions for future occupants.

7.19 The proposal would meet London and National Space Standards. The floor area and dimensions of all bedrooms would also meet national space standards.

7.20 In accordance with the London Plan 2021 and Policy DMD2 of the Council's Sites and Policies Plan, it states that there should be 5sqm of external space provided for private outdoor space for 1-2 person flats and an extra 1sqm provided for each additional occupant. For new houses, the Council would expect 50sq m of outdoor amenity space to be provided. The proposal would exceed this requirement and is therefore considered acceptable.

Flat No.	No.of beds	No. of persons	No. of storey's	Required GIA (sqm)	Proposed GIA (sqm)	Compliant
	5	8	3	138	406.37sq.m	Yes

### External

In accordance with the London Plan 2021 and Policy DM D2 of the Council's Sites and Policies Plan, it states that there should be 5sqm of external space provided for private outdoor space for 1-2 person flats and an extra 1sqm provided for each additional occupant. For new houses, the Council would expect 50sq m of outdoor amenity space to be provided. The proposal would exceed this requirement and is therefore considered acceptable.

#### 7.21 **PARKING/HIGHWAYS**

The site has a PTAL rating of 2 which means the site has poor access to public transport. The applicant has stated that 2 off street parking spaces would be provided. As this would not exceed the existing provision, this is considered acceptable.

#### 7.22 **BIKE AND BIN STORAGE**

Plans indicate there is sufficient space for bikes to be stored easily at the front or rear of the site. As such this element of the proposal is considered acceptable subject to conditions below.

#### 7.23 **SUSTAINABILITY**

7.24 All new developments comprising the creation of new dwellings should demonstrate how the development will comply with Merton's Core Planning Strategy (2011) Policy CS15 (Climate Change) (parts a-d) and the Policies in outlined in Chapter 9 of the London Plan 2021.

7.25 An Energy Strategy Report has been submitted as part of this application. The development will need to achieve internal water usage rates not exceeding 105 litres per person per day. CO2 emissions for the proposed development would be assessed under Approved Document Part L1A of Building Regulations. Part L of Building Regulations was updated (Part L 2021) and Part L 2021 is estimated to represent a 31% improvement against Part L 2013. As a result, the new Part L 2021 exceeds the 19% improvement against Part L 2013 target which Merton requires for minor schemes. Therefore, better improvements to building standards will now be controlled under building control regulations, however under planning, we will still need to see evidence of meeting Merton's internal water use rate of 105 Litres per person per day for minor residential schemes. In order to secure this requirement, a planning condition can be attached requiring evidence that the development has met this standard.

7.26 As such it is considered acceptable in principle subject to the sustainability conditions below.



7.27 AIR QUALITY

7.28 Planning Policy SI 1 (Improving air quality) of the London Plan 2021 seeks to tackle poor air quality and protect health. There are potential impacts to air quality affecting amenity and human health from construction activities, demolition, earthworks and construction traffic.

The London Plan Guidance on Air Quality sets out requirements for Minor Developments:

*3.11 Simplified procedure for the Building Emissions Benchmark (BEB)*

*Where minor developments (as set out within 2.3.1) include new heating systems, they can be assumed to meet the BEB in any of the following instances:*

*the new heating system is a heat pump or other zero-emission heat source*

*the new heating system includes one or more individual gas boilers with NOx emissions rated at less than 40 mg/kWh*

*the development is connecting to an existing heat network.*

*3.1.2 Where a development meets the criteria above, the rest of section 3 does not apply. If the criteria above is not met, a full AQN Assessment against the BEB is required, as per the procedure below.*

7.29 The applicant has confirmed the new development would have an Air Source Heat Pump. As such this element of the proposal is considered acceptable in principle subject to conditions below.

*4. Transport Emissions Benchmark (TEB)*

*4.1.1 Where minor developments (as set out in 2.3.1) include new parking, they can be assumed to meet the TEB if the maximum parking standards set out in policies T6 and T6.1 to T6.5 of the London Plan are not exceeded. For land uses where maximum parking standards are not defined, a full calculation against the benchmarks should be carried out.*

*4.1.2 Where a development meets the criteria above, the rest of section 4 does not apply. If the criteria above is not met, a full AQN Assessment is required against the TEB, as per the procedure below. Where major developments meet the definition of 'car-free', they can be assumed to meet the TEB and the rest of section 4 does not apply. This assumption does not exempt a development from considering building emissions (see section 3).*

7.30 The proposed site has a Ptal of 2 and 2 x parking spaces are proposed. This would not exceed the existing car parking provision and is therefore considered exempt from the requirements set out in Chapter 2.2 of the Air Quality Neutral London Plan Guidance as it would be an air quality neutral development. Further, a Construction Method Statement would capture measures as to how emissions and dust would be controlled during the construction process. This would be controlled via condition.

### 7.31 BIODIVERSITY

7.32 Policy G6 of the London Plan sets out that development proposals should manage impacts on biodiversity and aim to secure net biodiversity gain.

7.33 The site contains a residential dwelling in a largely overgrown plot. The scheme does not include any ecological enhancement measures. However, this matter can be addressed by way of condition to secure a plan for the implementation of ecological enhancement measures, which may include specific planting, bird boxes, bat boxes etc.

7.34 Subject to a condition to ensure that biodiversity on the site would be improved and there would be an overall biodiversity net gain, the proposal would be acceptable in this regard.

### 7.35 DEVELOPER CONTRIBUTIONS

The proposed development would be subject to payment of the Merton Community Infrastructure Levy and the Mayor of London's Community Infrastructure Levy (CIL).

## 8. CONCLUSION

The proposed new dwelling is considered to be an acceptable addition to the character of the site, the streetscene and the surrounding Conservation Area. It is also considered to provide a good standard of accommodation and it is also considered acceptable in terms of impacts on trees, neighbouring amenity and sustainability. Officers therefore recommend permission be granted, subject to conditions.

### CONDITIONS

1	A1 Commencement of development (full application)	Commencement of development (Full Permission) - The development to which this permission relates shall be commenced not later than the expiration of 3 years from the date of this permission.
	1	Reason: To comply with Section 91 (as amended) of the Town & Country Planning Act 1990.
2	A7 Approved Plans	Approved Plans - The development hereby permitted shall be carried out in accordance with the following approved plans: [Approved Plans - The development hereby permitted shall be carried out in accordance with the following approved plans: [210-P-GE02-P4, 210-P-GE01-P4, 210-P-GA01-P4, 210-P-GA00-P4, 210-P-GA03-P4, 210-P-GA02-P4, 210-P-GS01-P4, 210-X-Site-P1, 210-P-Site-P5, 210-P-GE03-P2]
	1	Reason: For the avoidance of doubt and in the interests of proper planning

3	B1 External Materials to be Approved	Materials to be Approved - No development shall take place until details of particulars and samples of the materials to be used on all external faces of the development hereby permitted, including window frames and doors (notwithstanding any materials specified in the application form and/or the approved drawings), have been submitted to the Local Planning Authority for approval. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall be carried out in full accordance with the approved details.
	1	Reason: To ensure a satisfactory appearance of the development and to comply with the following Development Plan policies for Merton: policies D4 and D8 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.
4	B5 Details of Walls/Fences	Boundary Treatment - Prior to above ground works no development shall take place until details of all boundary walls or fences are submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied / the use of the development hereby approved shall not commence until the details are approved and works to which this condition relates have been carried out in accordance with the approved details. The walls and fencing shall be permanently retained thereafter.
	1	Reason: To ensure a satisfactory and safe development in accordance with the following Development Plan policies for Merton: policies D4 and D8 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D1 and D2 of Merton's Sites and Policies Plan 2014.
5	C01 No Permitted Development (Extensions)	Removal of PD (Extensions/Alterations) - Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no extension, enlargement or other alteration of the dwellinghouse other than that expressly authorised by this permission shall be carried out without planning permission first obtained from the Local Planning Authority.
	1	Reason: The Local Planning Authority considers that further development could cause detriment to the amenities of the occupiers of nearby properties or to the character of the area and for this reason

		would wish to control any future Development plan policies for Merton: policy D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.
6	C03 Obscured Glazing (Fixed Windows)	Obscured Glazing (Fixed Shut) - Before the development hereby permitted is first occupied, the windows in the 1st floor side elevations shall be glazed with obscure glass, fixed shut and shall permanently maintained as such thereafter.
	1	Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policies D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.
7	C06 Refuse & Recycling (Details to be Submitted)	Refuse & Recycling (Details to be Submitted) - Prior to above ground works taking place details of a scheme for the storage of refuse and recycling shall be submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the scheme has been approved, and the development shall not be occupied until the scheme has been approved and has been carried out in full. Those facilities and measures shall thereafter be retained for use at all times from the date of first occupation.
	1	Reason: To ensure the provision of satisfactory facilities for the storage of refuse and recycling material and to comply with the following Development Plan policies for Merton: policies SI 7 and D6 of the London Plan 2016, policy CS17 of Merton's Core Planning Strategy 2011 and policy DM D2 of Merton's Sites and Policies Plan 2014.
9	C08 No Use of Flat Roof	No Use of Flat Roof - Access to the flat roof of the development hereby permitted (apart from designated roof terrace) shall be for maintenance or emergency purposes only, and the flat roof shall not be used as a roof garden, terrace, patio or similar amenity area.
	1	Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policies D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.
10	C09 Balcony/Terrace (Screening)	Screening - The screening or enclosure to the balcony as shown on the approved plans shall be implemented before the development is first occupied and retained permanently thereafter.

	1	Reason: To safeguard the amenities and privacy of the occupiers of adjoining properties and to comply with the following Development Plan policies for Merton: policies D3 and D4 of the London Plan 2021, policy CS14 of Merton's Core Planning Strategy 2011 and policies DM D2 and D3 of Merton's Sites and Policies Plan 2014.
11	D11 Construction Times	Construction Times - No demolition or construction work or ancillary activities such as deliveries shall take place before 8am or after 6pm Mondays - Fridays inclusive, before 8am or after 1pm on Saturdays or at any time on Sundays or Bank Holidays.
	1	Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with the following Development Plan policies for Merton: policies D14 and T7 of the London Plan 2021 and policy DM EP2 of Merton's Sites and Polices Plan 2014.
12	F01 Landscaping/Planting Scheme	Landscaping - Prior to above ground works taking place details of a landscaping and planting scheme shall be submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved before the commencement of the use or the occupation of any building hereby approved, unless otherwise agreed in writing by the Local Planning Authority. The details shall include on a plan, full details of the size, species, spacing, quantities and location of proposed plants, together with any hard surfacing, means of enclosure, and indications of all existing trees, hedges and any other features to be retained, and measures for their protection during the course of development.
	1	Reason: To enhance the appearance of the development in the interest of the amenities of the area, to ensure the provision sustainable drainage surfaces and to comply with the following Development Plan policies for Merton: policies G7 and D8 of the London Plan 2021, policies CS13 and CS16 of Merton's Core Planning Strategy 2011 and policies DM D2, DM F2 and DM O2 of Merton's Sites and Policies Plan 2014.
13	F02 Landscaping (Implementation)	Landscaping (Implementation) - All hard and soft landscape works shall be carried out in the first available planting season following the completion of the development or prior to the occupation of any part of the development, whichever is the sooner, and any trees which die within a period of 5 years from the completion of the development, are removed or become seriously damaged or diseased or are dying, shall be replaced in the next planting season with others of same approved specification,

		unless the Local Planning Authority gives written consent to any variation. All hard surfacing and means of enclosure shall be completed before the development is first occupied.
	1	Reason: To enhance the appearance of the development in the interest of the amenities of the area, to ensure the provision sustainable drainage surfaces and to comply with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policies CS13 and CS16 of Merton's Core Planning Strategy 2011 and policies DM D2, F2 and O2 of Merton's Sites and Policies Plan 2014.
14	F08 Site Supervision (Trees)	Site Supervision (Trees) ? The details of the approved `Arboricultural Impact Assessment and Method Statement' shall include the retention of an arboricultural expert to monitor and report to the Local Planning Authority not less than monthly the status of all tree works and tree protection measures throughout the course of the demolition and site works. A final Certificate of Completion shall be submitted to the Local Planning Authority at the conclusion of all site works. The works shall be carried out in accordance with the approved Arboricultural Method Statement and Tree Protection Plan.
	1	Reason: To protect and safeguard the existing retained trees in accordance with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policy CS13 of Merton's Core Planning Strategy 2011 and policy DMO2 of Merton's Sites and Policies Plan 2014.
15	F10 Tree Protection - Exclusion Zone	Tree Protection: The details and measures for the protection of the existing trees as specified in the hereby approved document `Arboricultural Impact Assessment and Method Statement' reference 'Rev.4' and dated 'Monday, 11 December 2023' and drawing number shall be fully complied with. The methods for the protection of the existing trees shall fully accord with all of the measures specified in the report and shall be installed prior to the commencement of any site works and shall remain in place until the conclusion of all site works.
	1	Reason: To protect and safeguard the existing retained trees in accordance with the following Development Plan policies for Merton: policy G7 of the London Plan 2021, policy CS13 of Merton's Core Planning Strategy 2011 and policy DMO2 of Merton's Sites and Policies Plan 2014.
16	H06 Cycle Parking - Details to be Submitted	Cycle Parking - Details to be Submitted - Prior to above ground works no development shall take place until details of secure cycle parking facilities

		for the occupants of, and visitors to, the development have been submitted to and approved in writing by the Local Planning Authority. The approved facilities shall be fully implemented and made available for use prior to the first occupation of the development and thereafter retained for use at all times.
	1	Reason: To ensure satisfactory facilities for cycle parking are provided and to comply with the following Development Plan policies for Merton: policy T5 of the London Plan 2021, policy CS18 of Merton's Core Planning Strategy 2011 and policy DM T1 of Merton's Sites and Policies Plan 2014.
17	H07 Cycle Parking to be implemented	Cycle Parking to be implemented - The development hereby permitted shall not be occupied until the cycle parking shown on the plans hereby approved has been provided and made available for use. These facilities shall be retained for the occupants of and visitors to the development at all times.
	1	Reason: To ensure satisfactory facilities for cycle parking are provided and to comply with the following Development Plan policies for Merton: policy T5 of the London Plan 2021, policy CS18 of Merton's Core Planning Strategy 2011 and policy DM T1 of Merton's Sites and Policies Plan 2014.
18	Construction Working Method Statement	Working Method Statement & Demolition/Construction Logistics Plan - Development shall not commence until a working method statement and demolition/construction logistics plan has been submitted to and approved in writing by the Local Planning Authority to accommodate: (i) Hours of operation (ii) Parking of vehicles of site operatives and visitors; (iii) Loading and unloading of plant and materials; (iv) Storage of construction plant and materials; (v) Wheel cleaning facilities (vi) Control of dirt, dust, smell and other effluvia; (vii) Control of surface water run-off. (viii) Measures to control the emission of noise and vibration during construction/demolition. (viii)The erection and maintenance of any security hoarding including decorative displays. (ix) A scheme for recycling/disposing of waste resulting from demolition and construction works No development shall be carried out except in full accordance with the approved method statement.
	1	Reason: To ensure the safety of pedestrians and vehicles and the amenities of the surrounding area and to comply with the following Development Plan policies for Merton: policies T4 and T7 of the London Plan 2021, policy CS20 of Merton's Core Planning

		Strategy 2011 and policy DM T2 of Merton's Sites and Policies Plan 2014.
19	L3 Sustainability Standard Pre-Occupation	Sustainability (Water Consumption) - No part of the development hereby approved shall be occupied until evidence has been submitted to, and approved in writing by, the Local Planning Authority confirming that the development has achieved internal water consumption rates of no greater than 105 litres per person per day
	1	Reason: To ensure that the development achieves a high standard of sustainability and makes efficient use of resources and to comply with the following Development Plan policies for Merton: Policy SI 2 and SI 3 of the London Plan 2021 and Policy CS15 of Merton's Core Planning Strategy 2011.
20	A Non Standard Condition	Condition: Prior to the commencement of development, a detailed scheme for the provision of surface and foul water drainage shall be submitted to and approved in writing by the local planning authority for (both phases of) the development. The drainage scheme will dispose of surface water by means of a sustainable drainage system (SuDS) at the agreed runoff rate (no more than 1.0l/s, with no less than 14.25m <sup>3</sup> of attenuation volume), in accordance with drainage hierarchy contained within the London Plan Policy (SI 13 and SPG) and the advice contained within the National SuDS Standards. The drainage plans shall include pipe sizes and direction of flow.
	1	Reason: To reduce the risk of surface and foul water flooding to the proposed development and future users, and ensure surface water and foul flood risk does not increase offsite in accordance with Merton's policies CS16, DMF2 and the London Plan policy SI 13.
21	A Non Standard Condition	Prior to commencement details of the Air Source Heat Pump together with a noise report have been submitted in writing for approval to the Local Planning Authority. No works which are the subject of this condition shall be carried out until the details are approved, and the development shall not be occupied unless the measures have been approved and carried out in strict accordance with the approved details and those measures shall thereafter be retained for use at all times from the date of first occupation.
		Reason: To safeguard the amenities of the area and the occupiers of neighbouring properties and ensure compliance with the following Development Plan policies for Merton: policy D14 of the London Plan



		2021 and policies DM D2, DM D3, DM EP2 and DM EP4 of Merton's Sites and Policies Plan 2014.
	Biodiversity	The development hereby approved shall not be occupied until a plan for ecological enhancements, to secure a biodiversity net gain, has been submitted to and approved in writing by the Local Planning Authority. The agreed enhancements shall be implemented prior to the first occupation of the development hereby permitted and maintained thereafter.
		Reason: Having regard to the biodiversity value of the site
22	INF 00 Non-Standard/ Blank Informative	<p>INFORMATIVE</p> <p>No surface water runoff should discharge onto the public highway including the public footway or highway. When it is proposed to connect to a public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required (contact no. 0845 850 2777). No waste material, including concrete, mortar, grout, plaster, fats, oils and chemicals shall be washed down on the highway or disposed of into the highway drainage system.</p>
23	INF 09 Works on the Public Highway	<p>INFORMATIVE</p> <p>You are advised to contact the Council's Highways team on 020 8545 3700 before undertaking any works within the Public Highway to obtain the necessary approvals and/or licences. Please be advised that there is a further charge for this work. If your application falls within a Controlled Parking Zone this has further costs involved and can delay the application by 6 to 12 months.</p>
24	INF 12 Works affecting the public highway	<p>INFORMATIVE</p> <p>Any works/events carried out either by, or at the behest of, the developer, whether they are located on, or affecting a prospectively maintainable highway, as defined under Section 87 of the New Roads and Street Works Act 1991, or on or affecting the public highway, shall be co-ordinated under the requirements of the New Roads and Street Works Act 1991 and the Traffic management Act 2004 and licensed accordingly in order to secure the expeditious movement of traffic by minimising disruption to users of the highway network in Merton. Any such works or events commissioned by the developer and particularly those involving the connection of any utility to the site, shall be co-</p>

		<p>ordinated by them in liaison with the London Borough of Merton, Network Coordinator, (telephone 020 8545 3976). This must take place at least one month in advance of the works and particularly to ensure that statutory undertaker connections/supplies to the site are co-ordinated to take place wherever possible at the same time.</p>
25	<p>Note To Applicant - Approved Schemes</p>	<p><b>INFORMATIVE</b></p> <p>In accordance with paragraph 38 of the NPPF, The London Borough of Merton (LBM) takes a positive and proactive approach to development proposals focused on solutions. LBM works with applicants/agents in a positive and proactive manner by:</p> <ul style="list-style-type: none"> <li>i) Offering a pre-application advice and duty desk service.</li> <li>ii) Where possible, suggesting solutions to secure a successful outcome.</li> <li>iii) As appropriate, updating applicants/agents of any issues that may arise in the processing of their application.</li> </ul> <p>In this instance:</p> <ul style="list-style-type: none"> <li>i) The applicant/agent was provided with pre-application advice.</li> <li>ii) The application was amended during the application process via amended plans.</li> </ul>

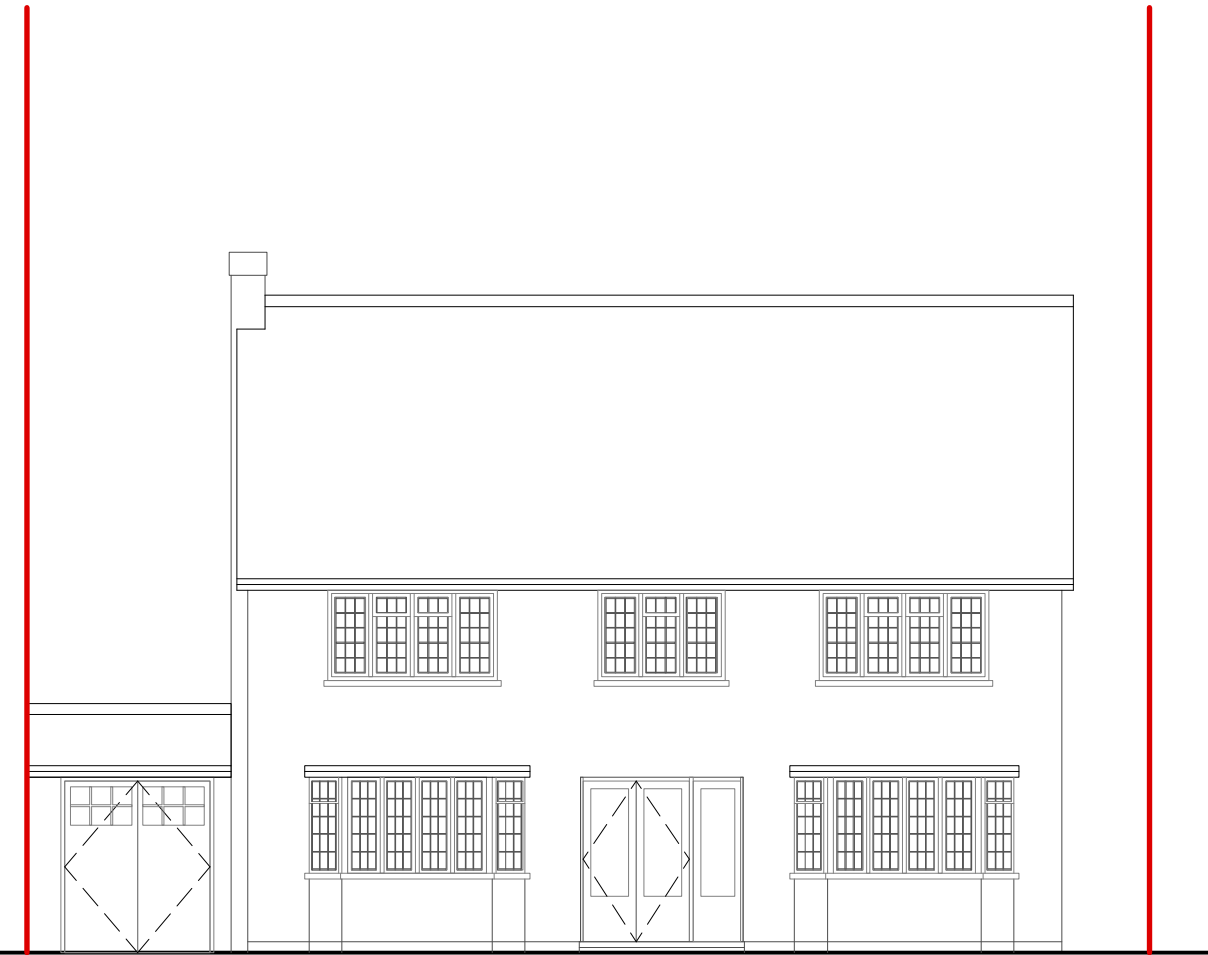
# NORTHGATE SE GIS Print Template



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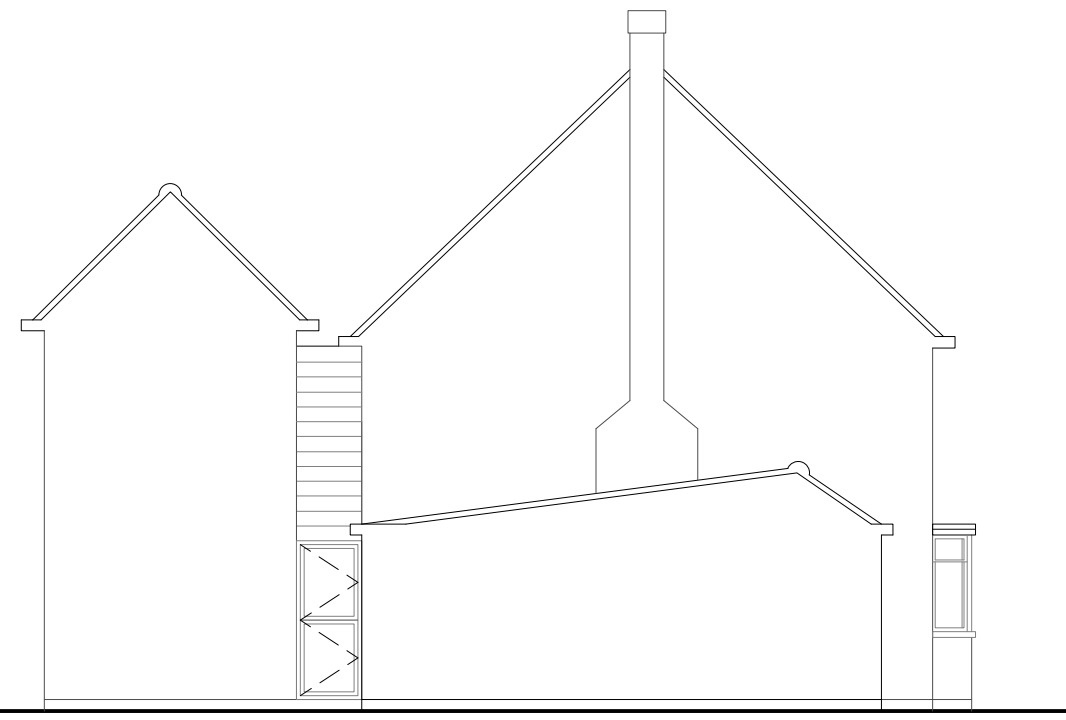
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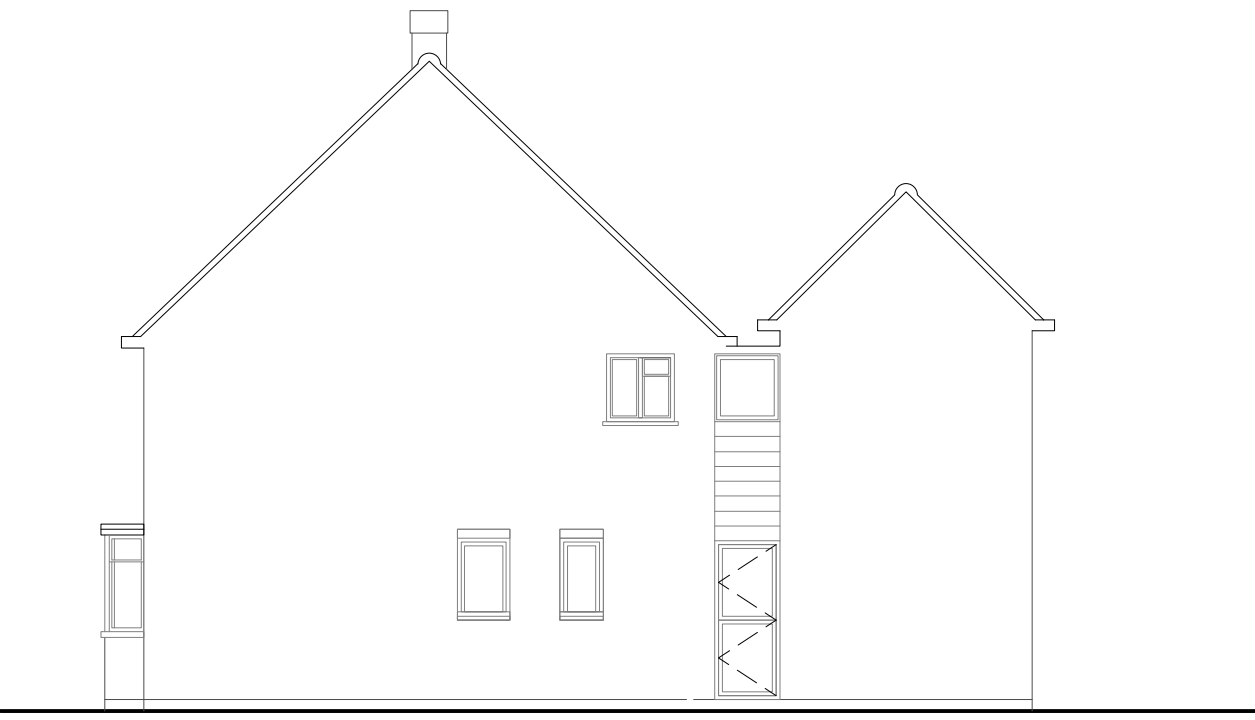
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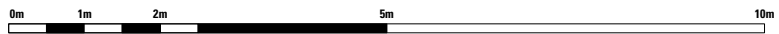
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03 ExistingSouthEastElevation  
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04 ExistingNorthWestElevation  
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Revisions

P1	12/04/2023	Issued for Planning
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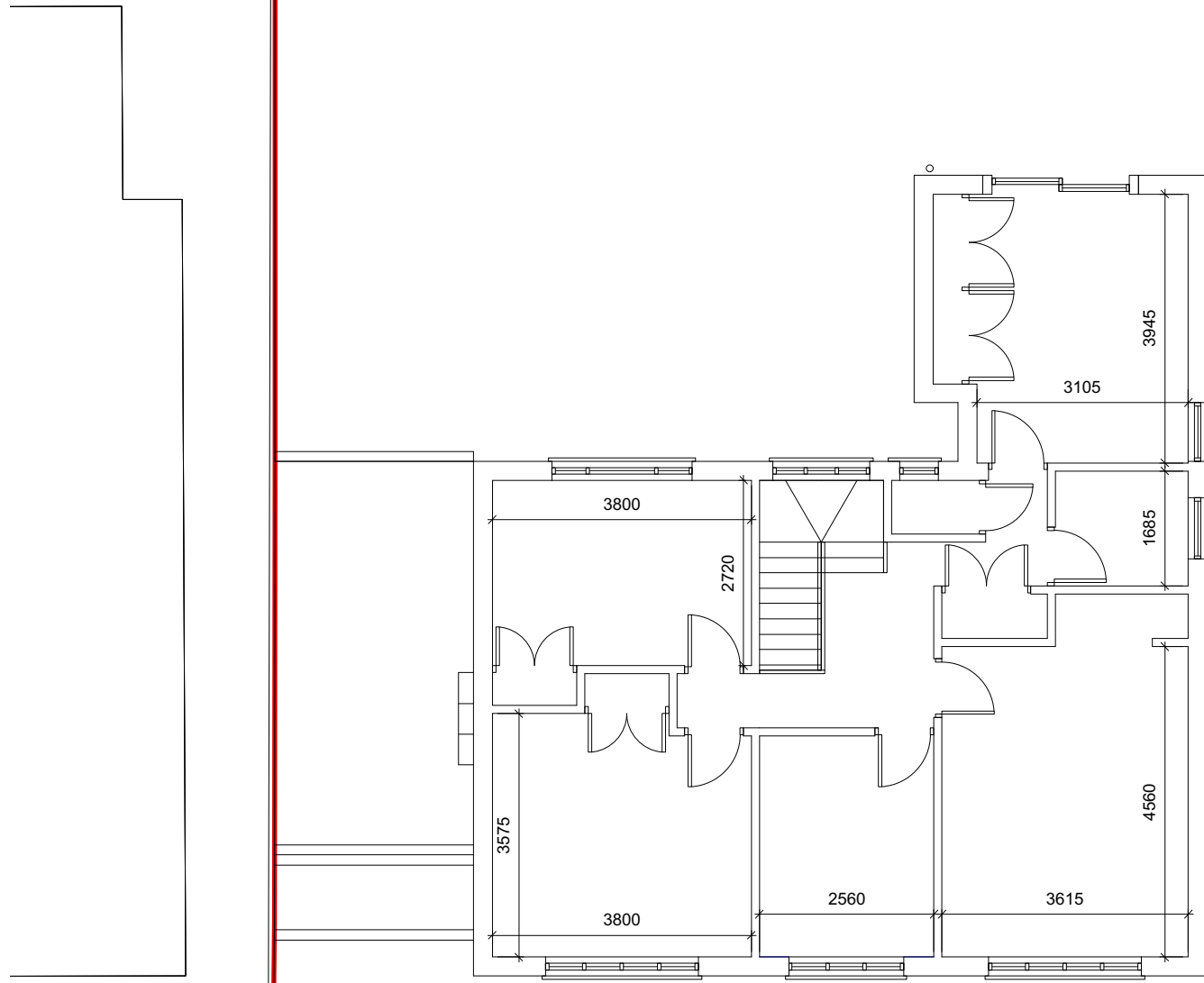
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Planning	PA	RP
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Drwg. No. & Revision  
**210-X-GE01-P1**

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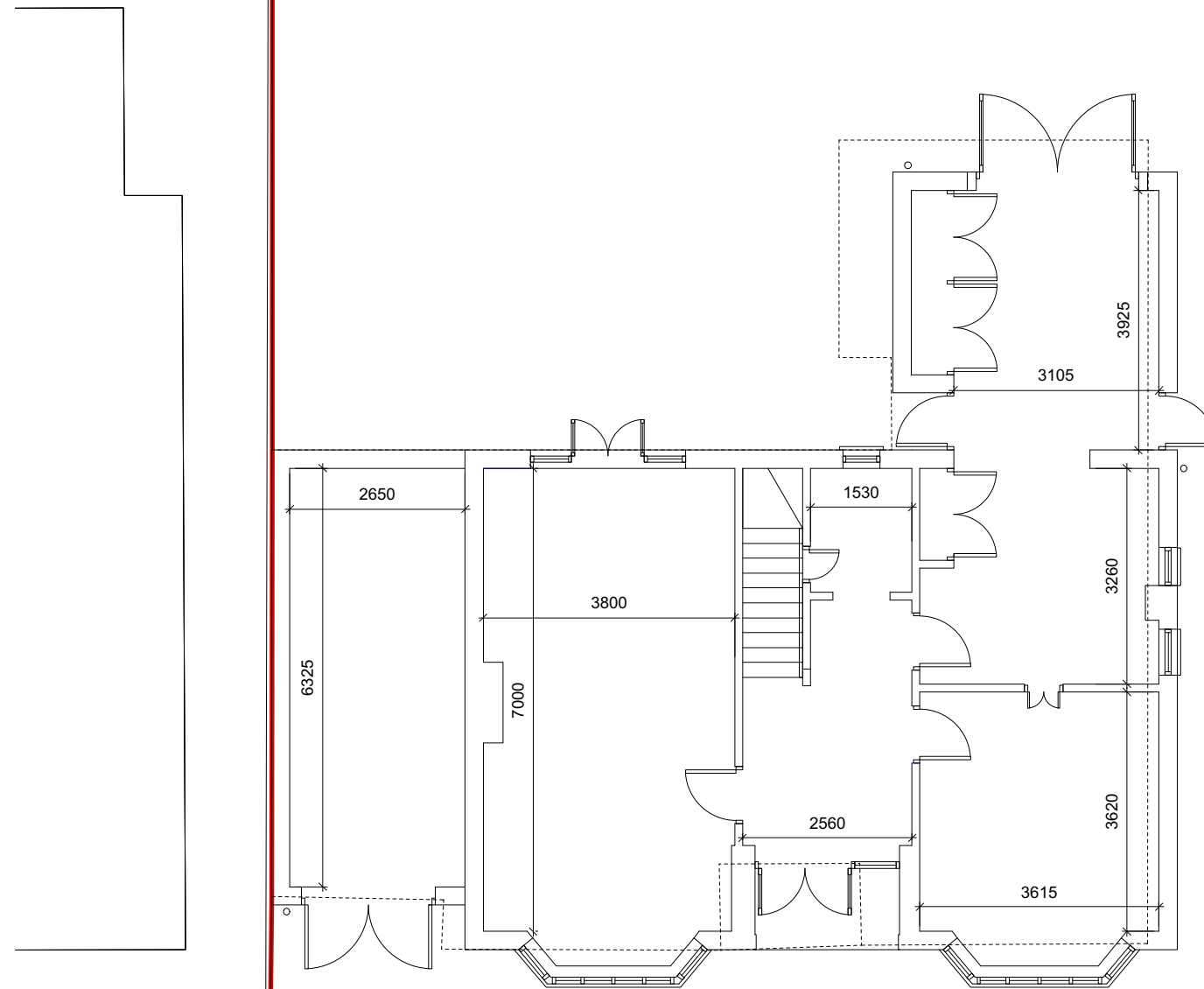
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First Floor

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Planning	PA	RP
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Drawing Title  
Existing General Arrangement  
Ground Floor

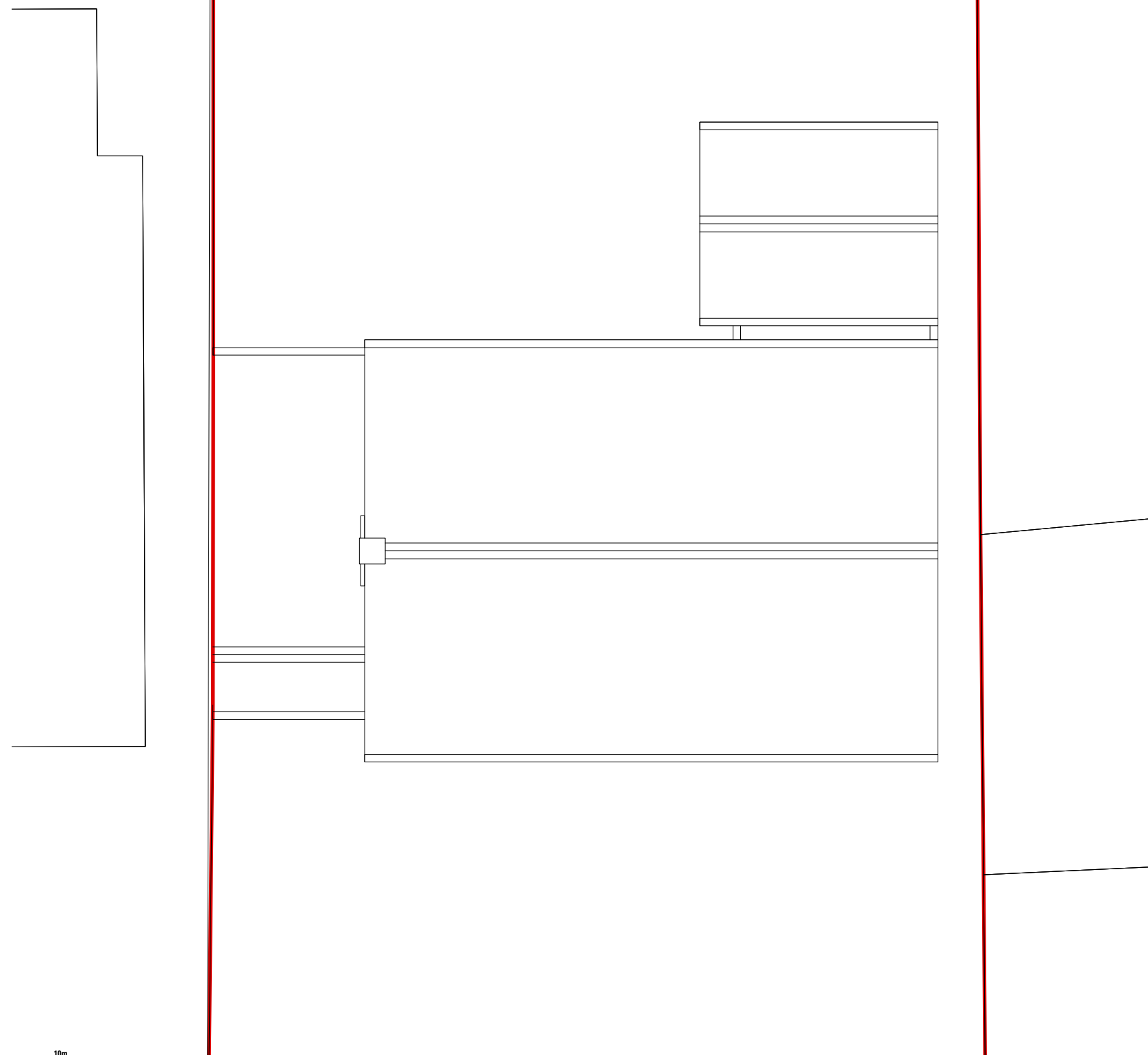
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Drawing Title  
Existing General Arrangement  
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Status  
Planning

Drawn  
PA

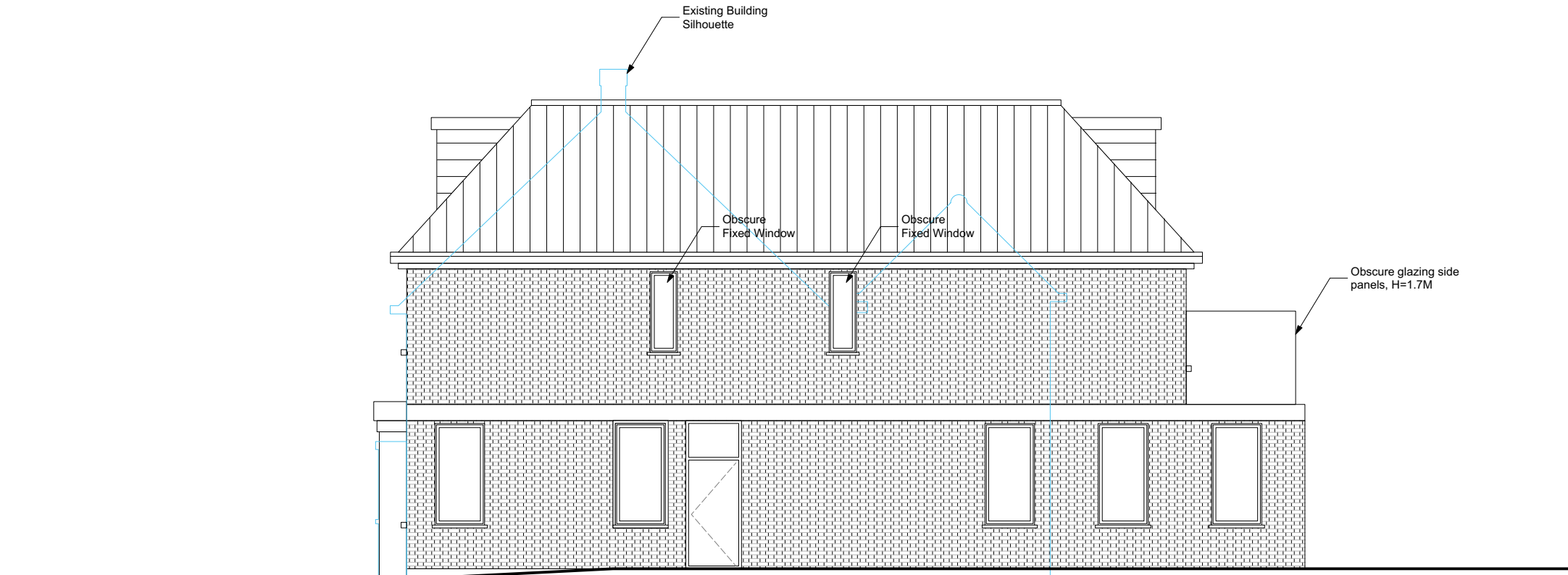
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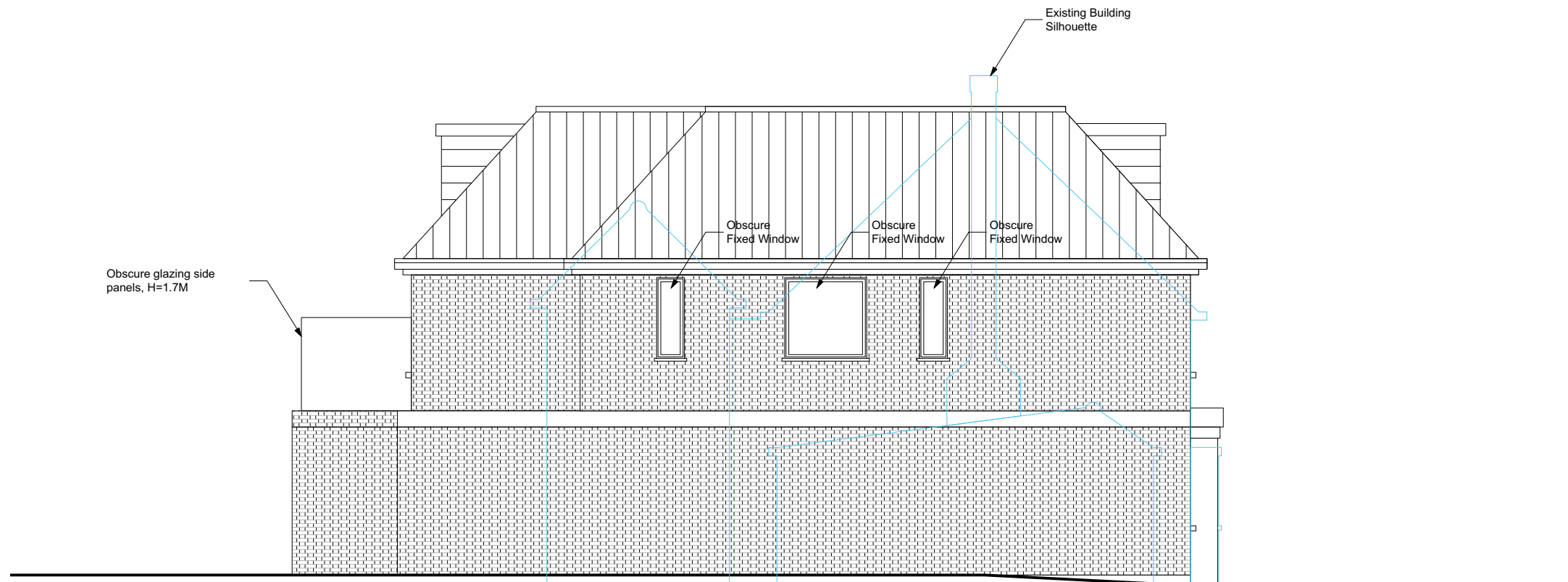
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**210-X-GARP-P1**

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04 Proposed South Elevation  
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03 Proposed North Elevation  
Scale 1:50@A1, 1:100@A3



Revisions

P1	12/04/2023	Issued for Planning
P2	10/07/2023	Revision - Design Amended
P3	31/10/2023	Revision - Balcony Design Amended
P4	07/12/2023	Revision - Design Amended

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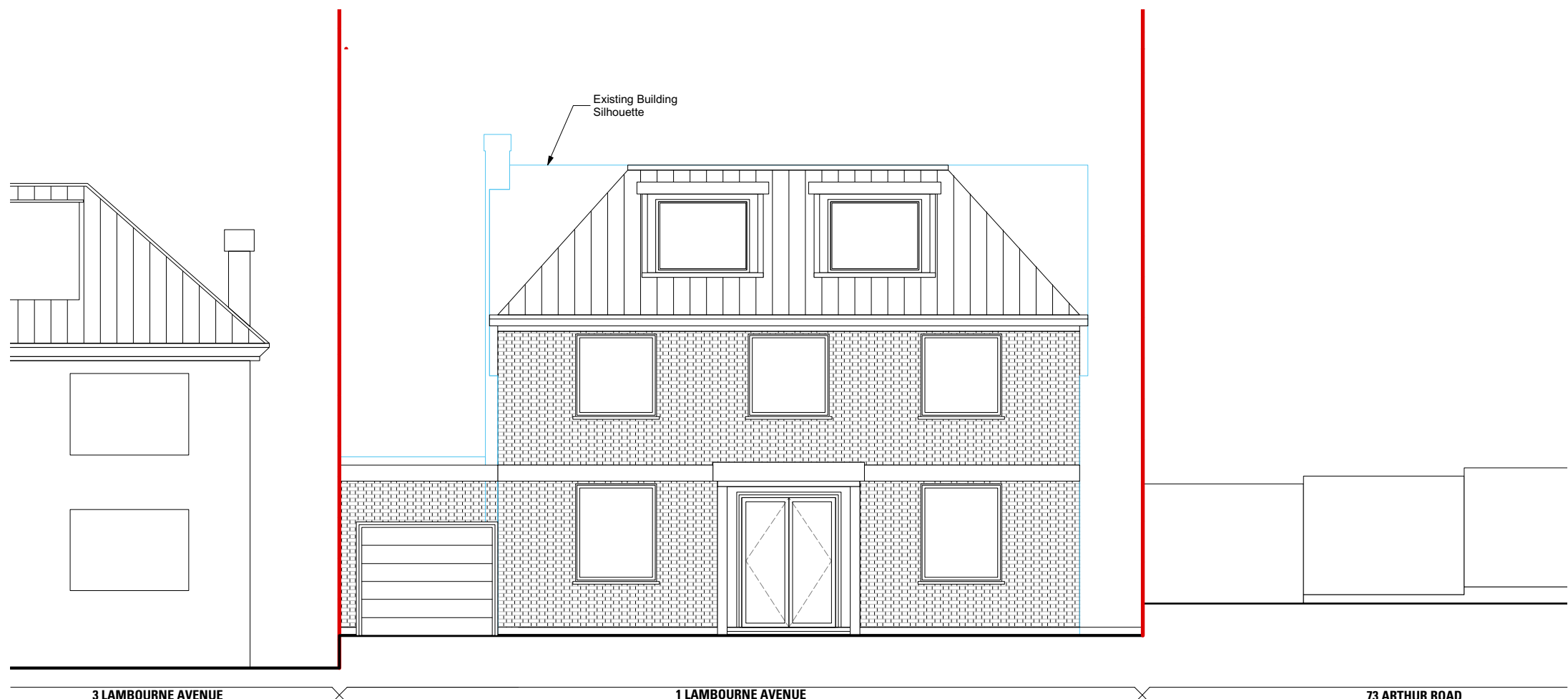
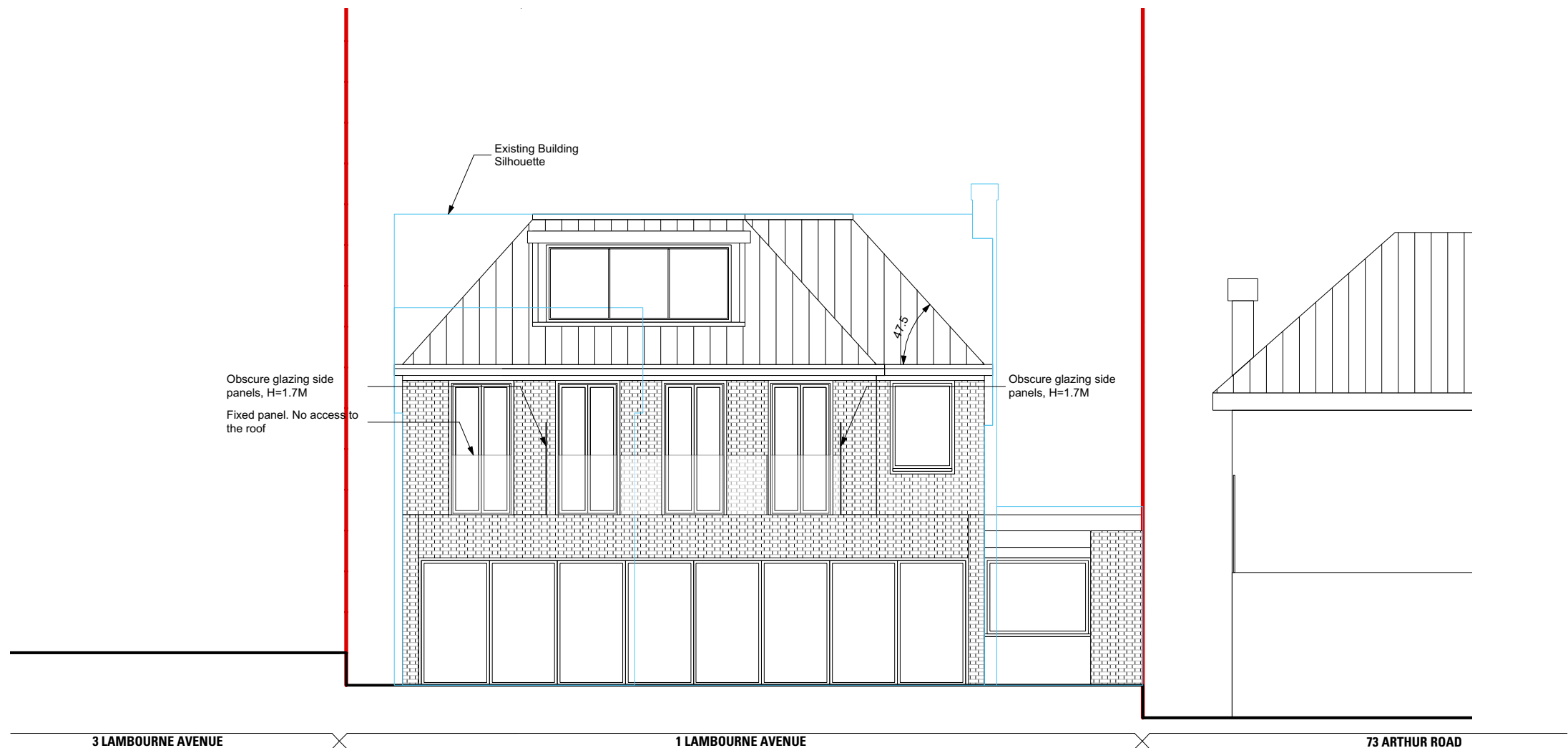
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Elevations

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Revisions

P1	12/04/2023	Issued for Planning
P2	10/07/2023	Revision - Design Amended
P3	31/10/2023	Revision - Balcony Design Amended
P4	07/12/2023	Revision - Design Amended

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 Elevations

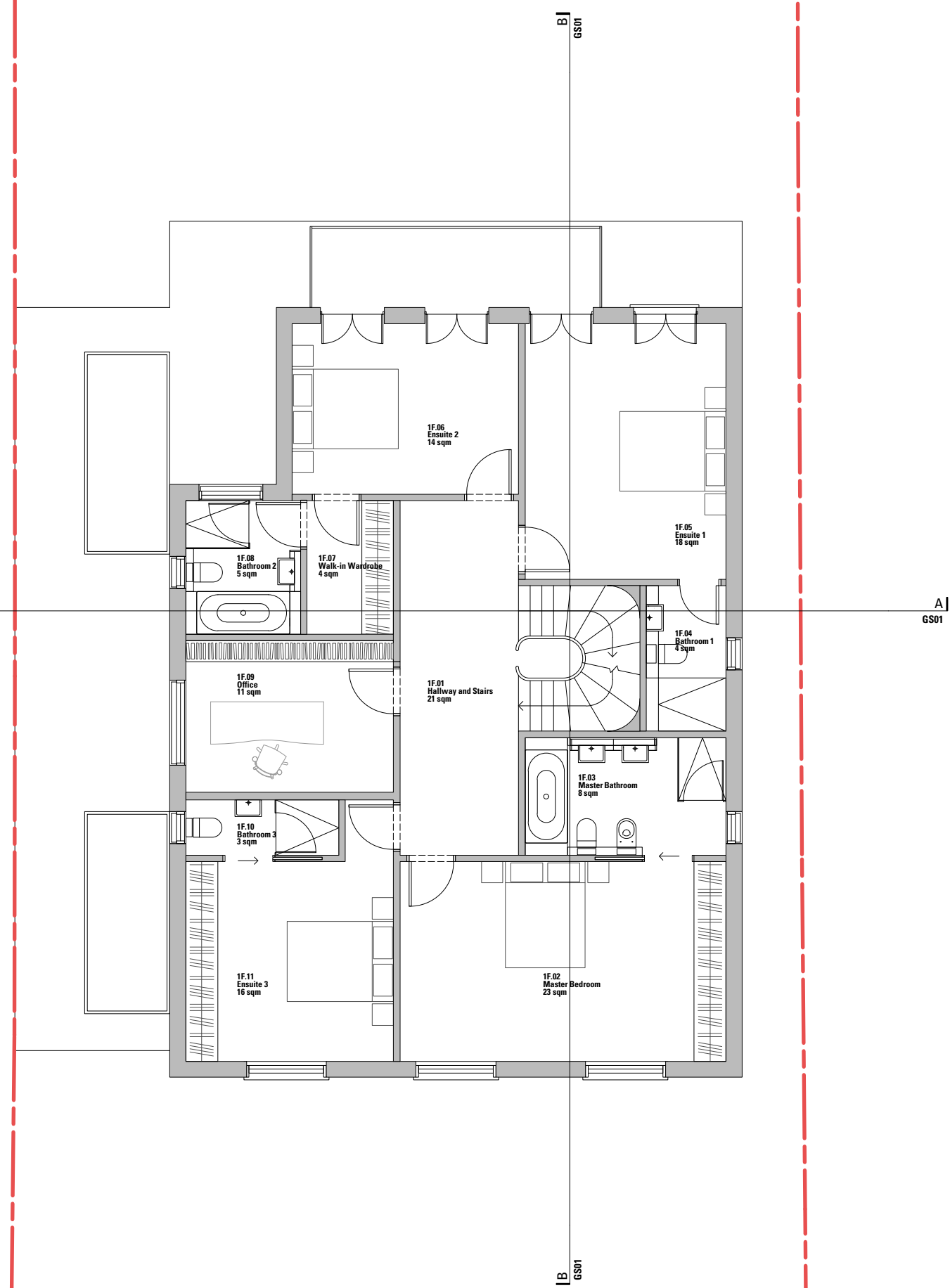
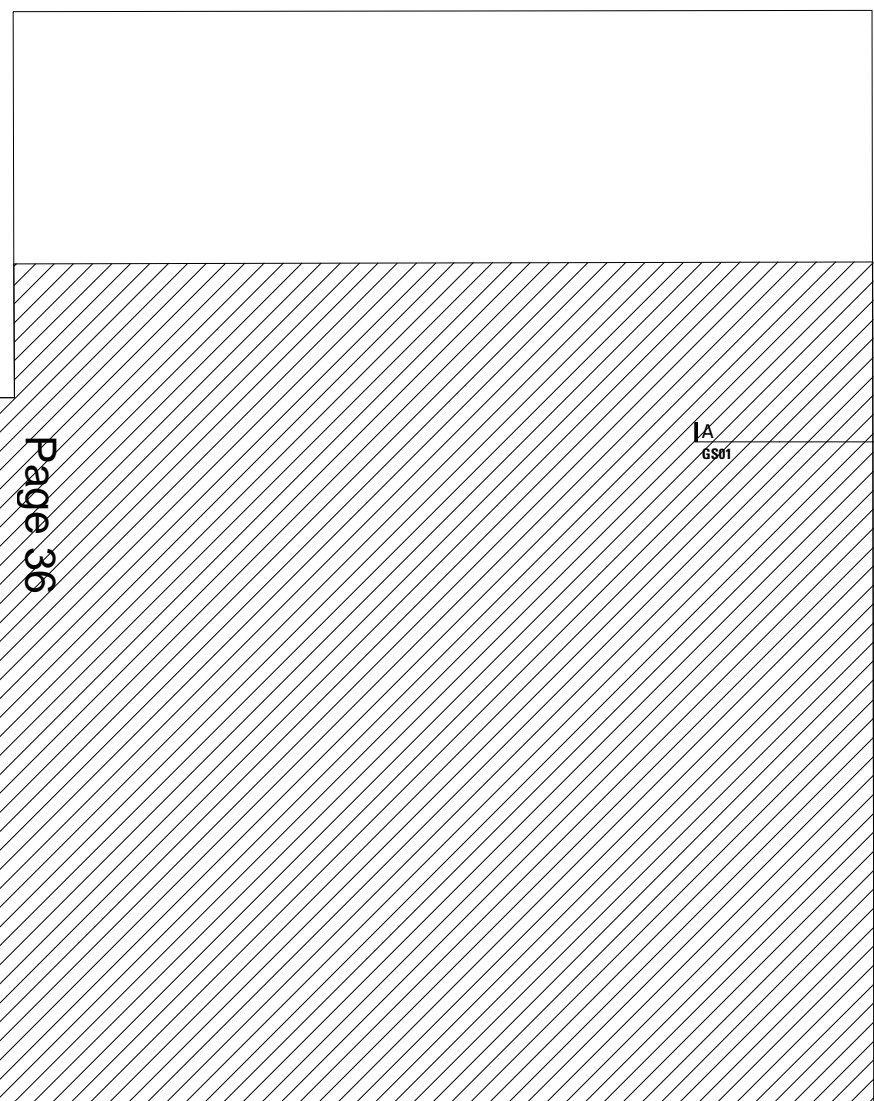
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Revisions

P1	12/04/2023	Issued for Planning
P2	10/07/2023	Revision - Design Amended
P3	31/10/2023	Balcony Design Amended
P4	07/12/2023	Revision - Design Amended

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Drawing Title  
Proposed General Arrangement  
First Floor

Status	Planning	Drawn	YC	Checked	RP
Scale	1:50@A1	1:100@A3	Date	December 2023	

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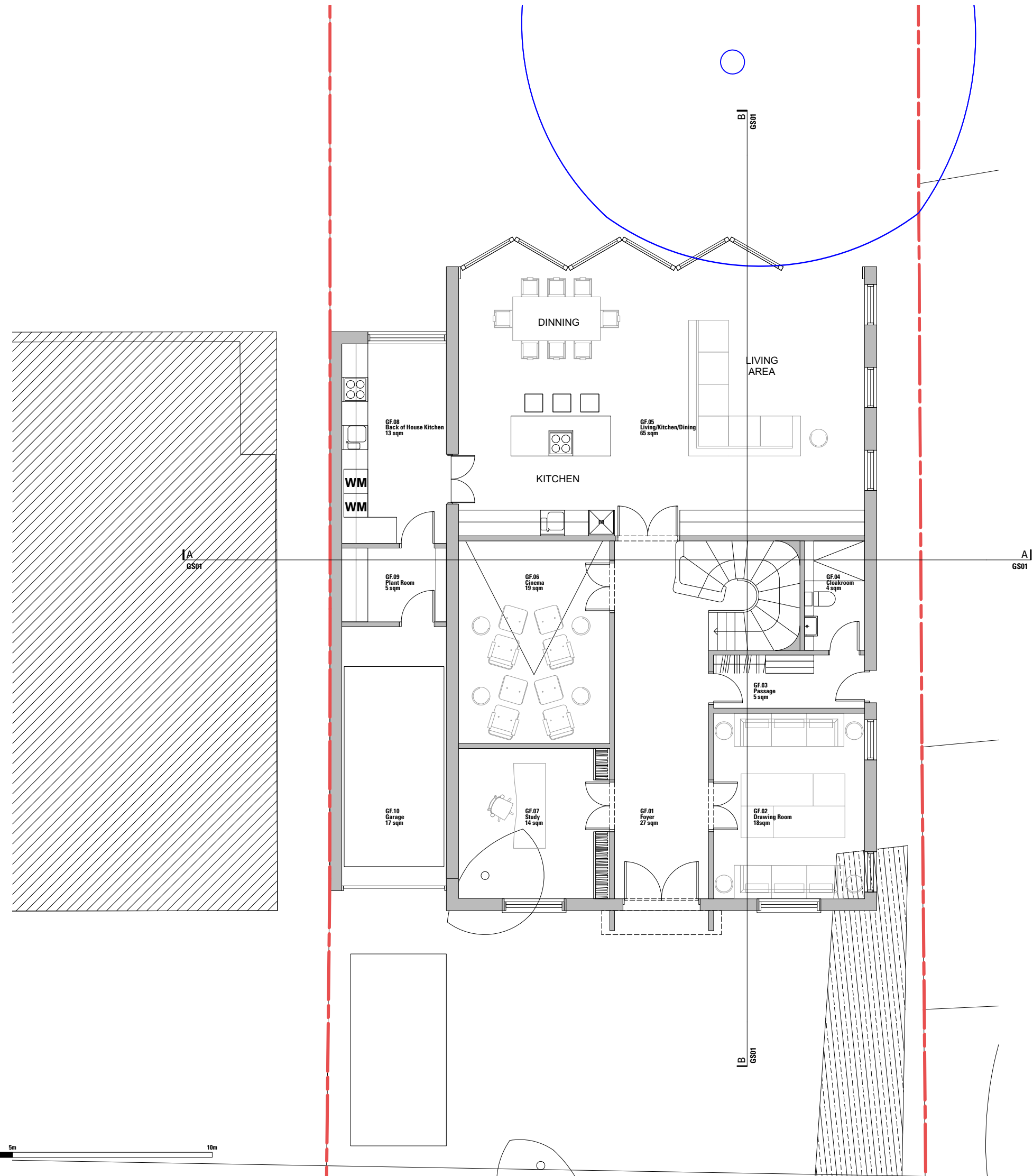
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01 Proposed First Floor  
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Revisions

P1	12/04/2023	Issued for Planning
P2	06/07/2023	Revision - Design Amended
P3	31/10/2023	Revision - Balcony Design Amended
P4	07/12/2023	Revision - Design Amended

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Drawing Title  
Proposed General Arrangement  
Ground Floor

Status	Planning	Drawn	YC	Checked	RP
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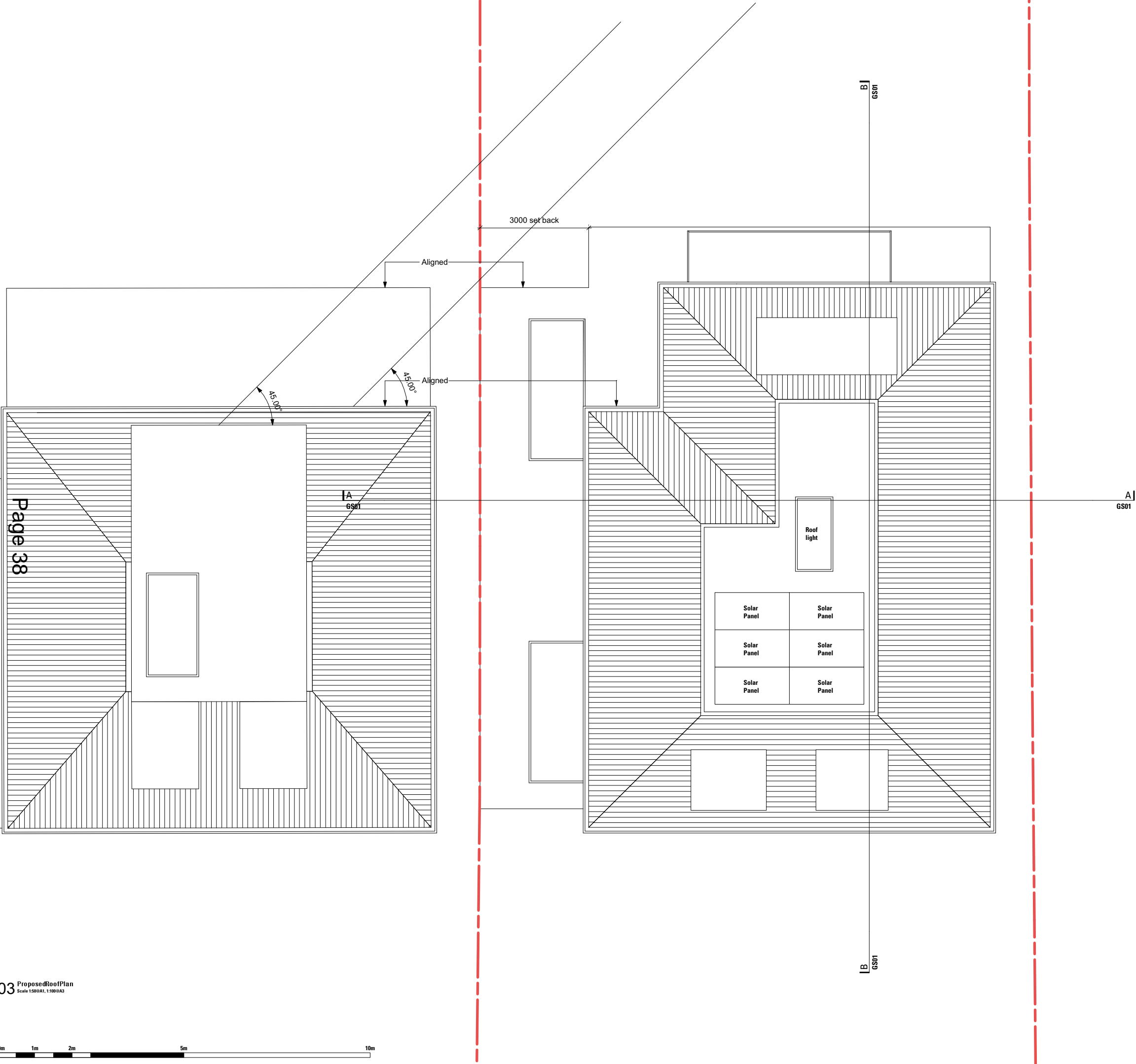
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00 Proposed Ground Floor  
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03 Proposed Roof Plan  
Scale 1:50@A1, 1:100@A3



Revisions

P1	12/04/2023	Issued for Planning
P2	10/07/2023	Revision - Design Amended
P3	31/10/2023	Revision - Balcony Design Amended
P4	07/12/2023	Revision - Design Amended

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Client  
Total Real Estate Ltd

Project  
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Drawing Title  
Proposed General Arrangement  
Roof

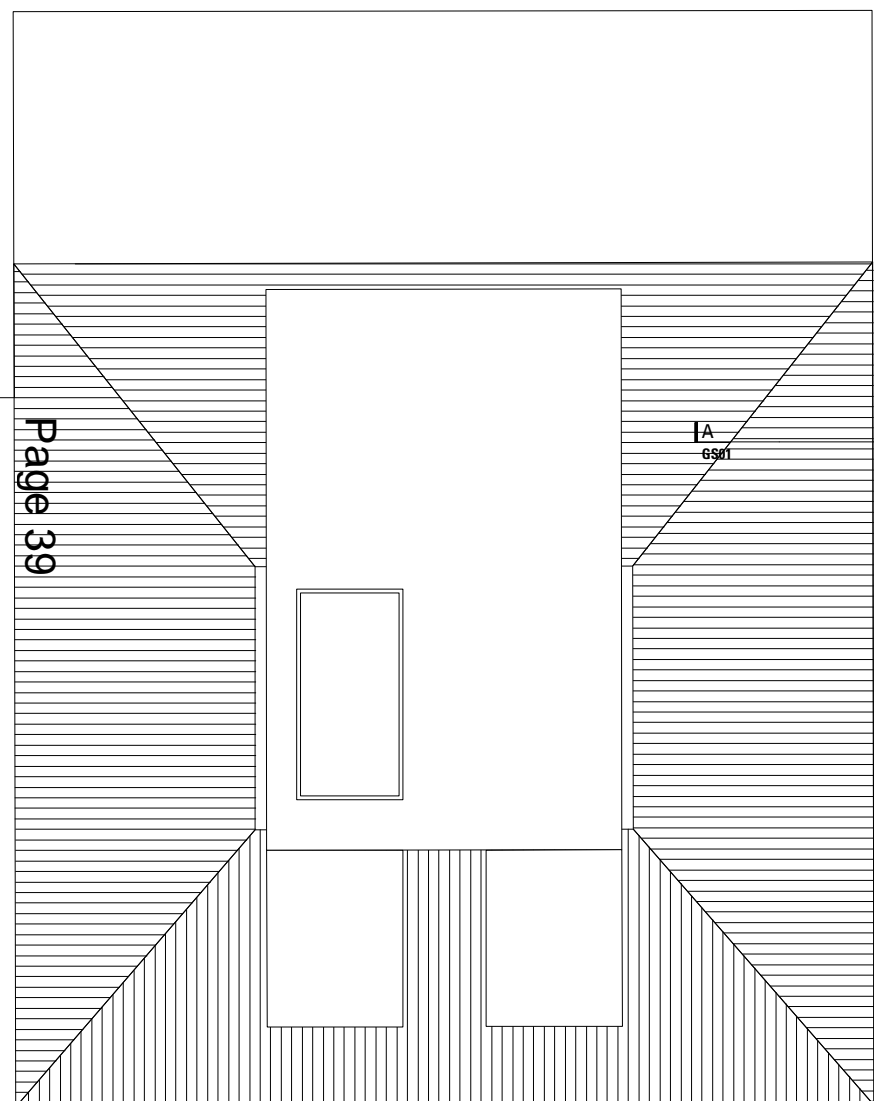
Status	Planning	Drawn	YC	Checked	RP
Scale	1:50@A1	1:100@A3	Date	December 2023	

Drwg. No. & Revision  
**210-P-GA03-P4**

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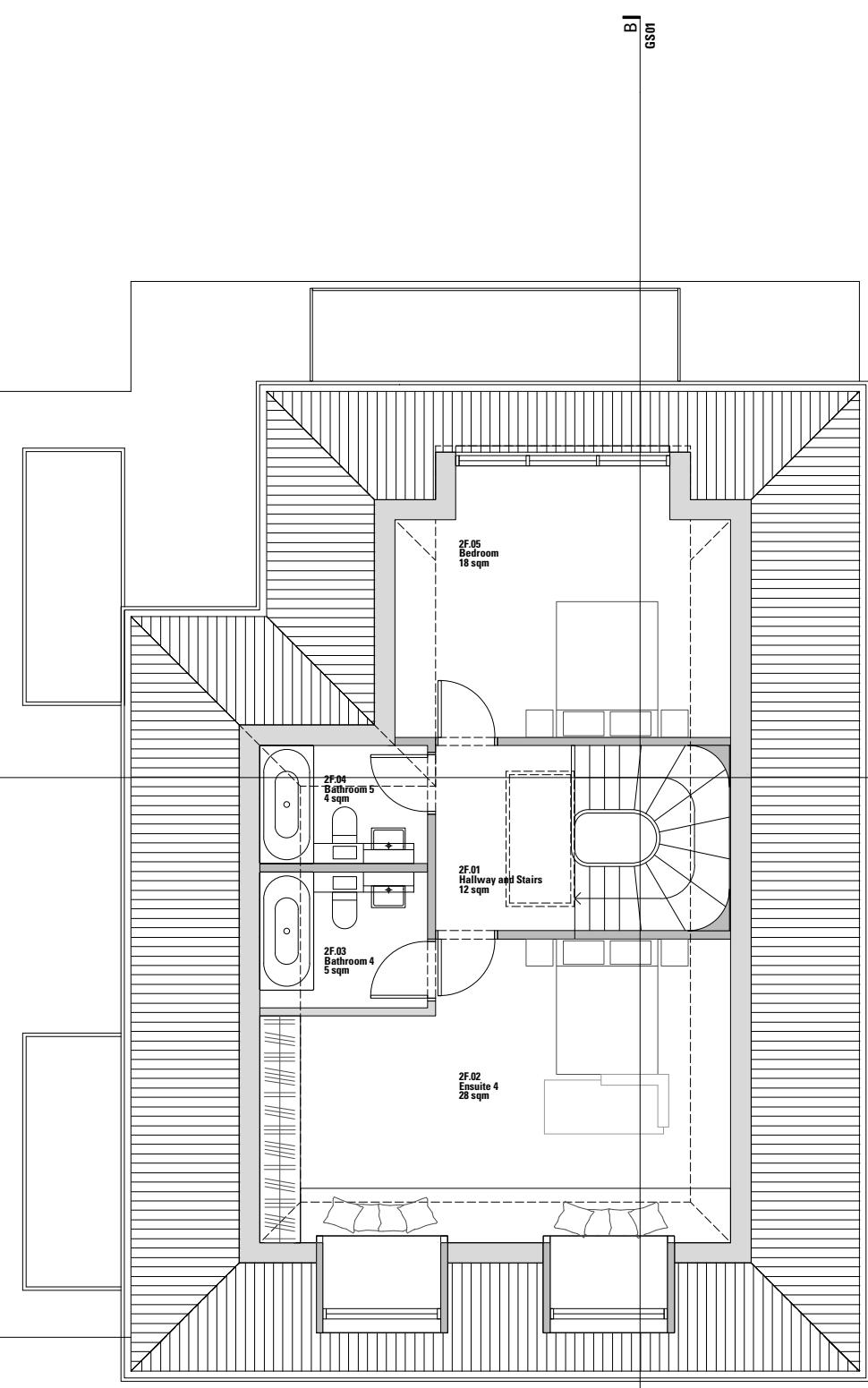
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IA  
6501



B|  
6501

A|  
6501

B|  
6501



Revisions

P1	12/04/2023	Issued for Planning
P2	10/07/2023	Revision - Design Amended
P3	31/10/2023	Revision - Balcony Design Amended
P4	07/12/2023	Revision - Design Amended

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Project  
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Drawing Title  
Proposed General Arrangement  
Second Floor

Status	Planning	Drawn	YC	Checked	RP
Date					
Scale	1:50@A1	1:100@A3			December 2023

Drwg. No. & Revision  
**210-P-GA02-P4**

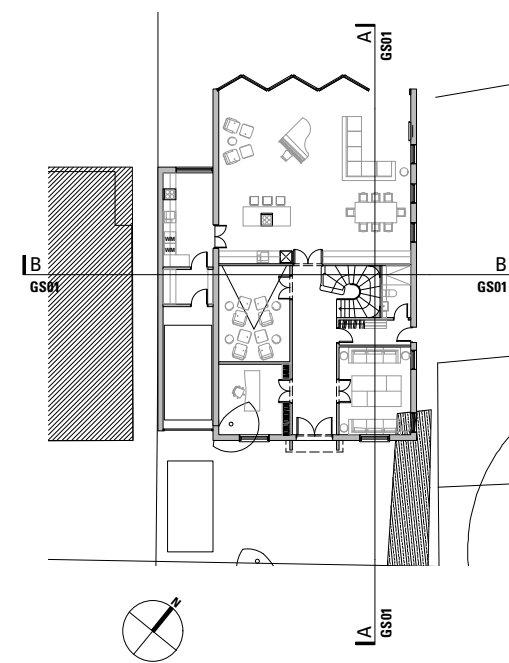
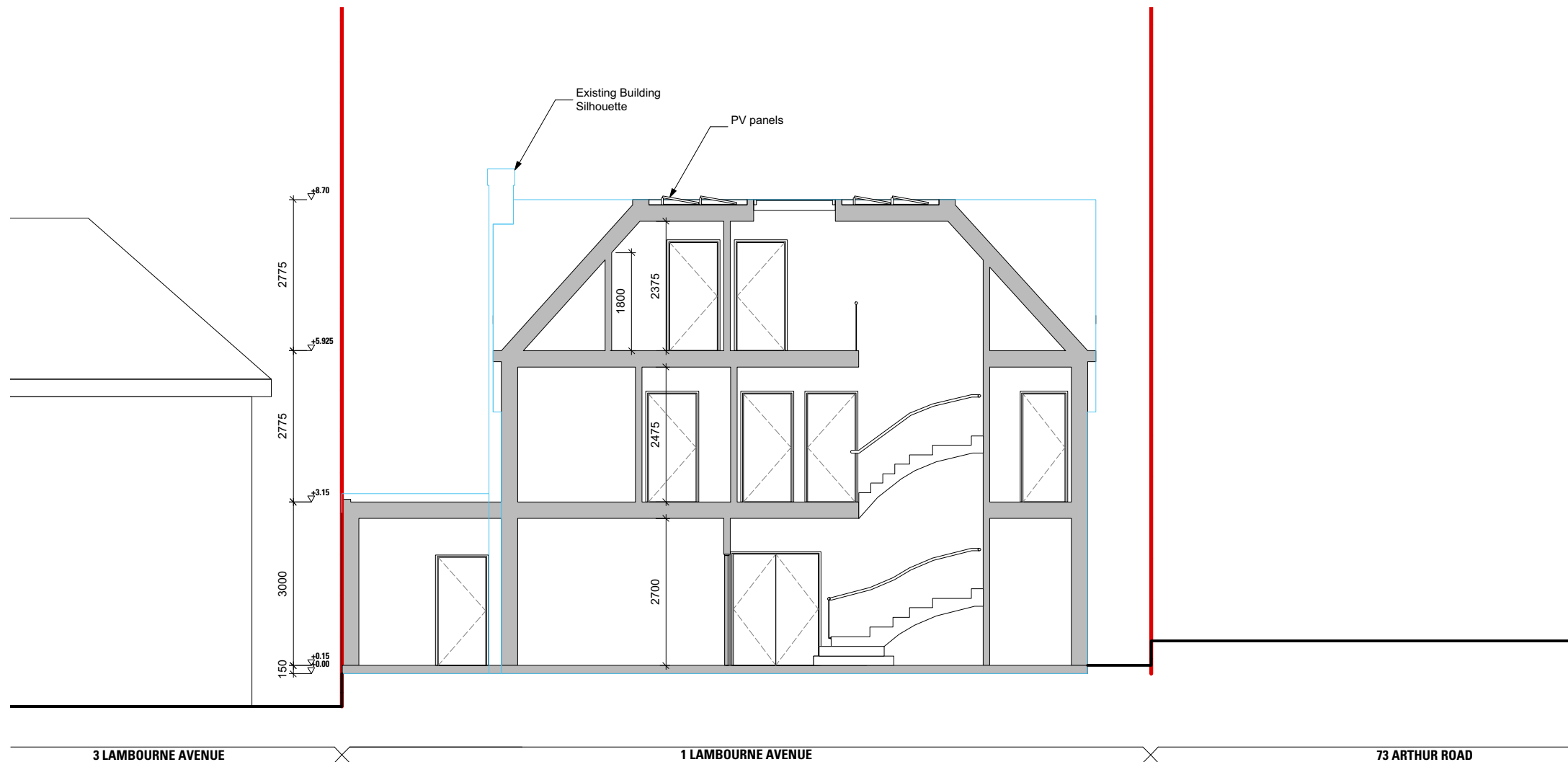
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02 ProposedSecondFloor  
Scale 1:50@A1, 1:100@A3



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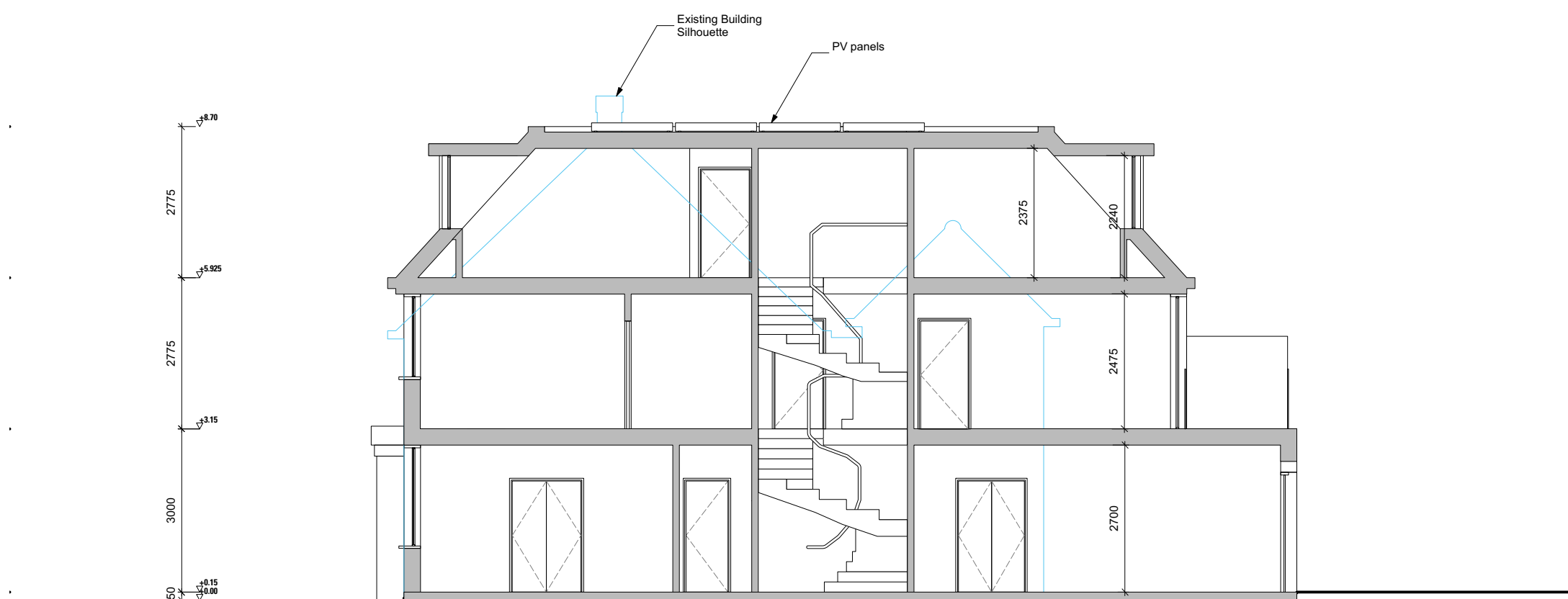
Notes



Revisions

P1	12/04/2023	Issued for Planning
P2	10/07/2023	Revision - Design Amended
P3	31/10/2023	Revision - Balcony Design Amended
P4	07/12/2023	Revision - Design Amended

BB' Proposed Short Section  
Scale 1:50@A1, 1:100@A3  
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AA' Proposed Long Section  
Scale 1:50@A1, 1:100@A3



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Drawing Title  
Proposed General Arrangement  
Sections

Status	Planning	Drawn	YC	Checked	RP
Date	1:50@A1 1:100@A3	December 2023			

Drwg. No. & Revision  
**210-P-GS01-P4**

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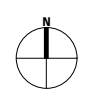
**01 Existing Site Plan**  
1:1250

0m 20m 50m 100m 200m



**02 Existing Block Plan**  
1:500

0m 10m 20m 50m 100m



Revisions

P1	12/04/2023	Issued for Planning
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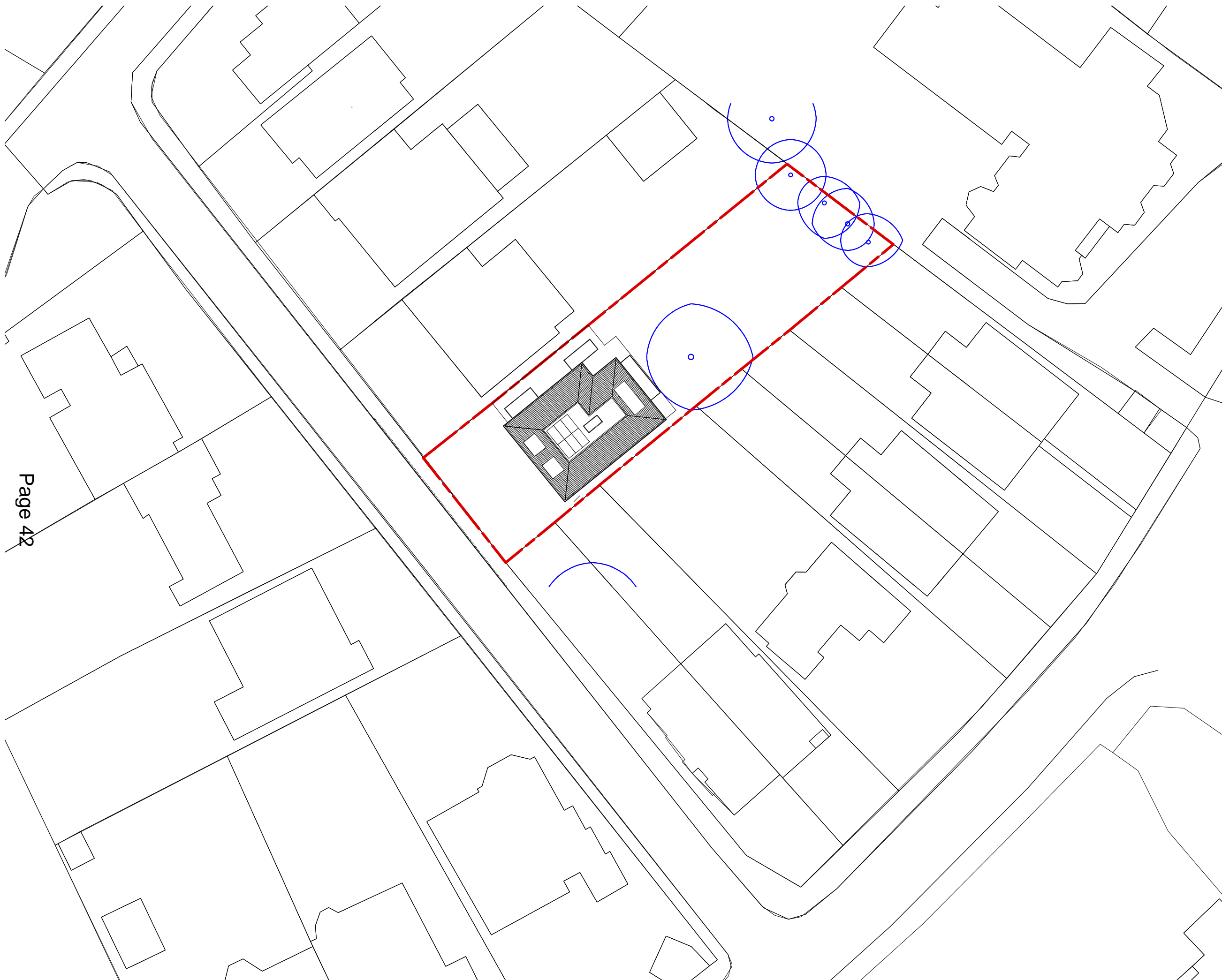
Drawing Title  
Existing Site & Block Plan

Status	Drawn	Checked
Planning	PA	RP
Scale	Date	
1:1250@A1 & 1:500@A1	April 2023	

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**210-X-Site-P1**  
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Revisions

P1	12/04/2023	Issued for Planning
P2	11/07/2023	Revision - Design Amended
P3	31/10/2023	Revision - Balcony Design Amended
P4	04/09/2023	Revision - Tree Survey & Protection Plan added
P5	07/12/2023	Revision - Design Amended

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Drawing Title  
Proposed Site Plan

Status	Drawn	Checked
Planning	PA	RP

Scale  
1:100@A1 1:200@A3  
Date  
September 2023

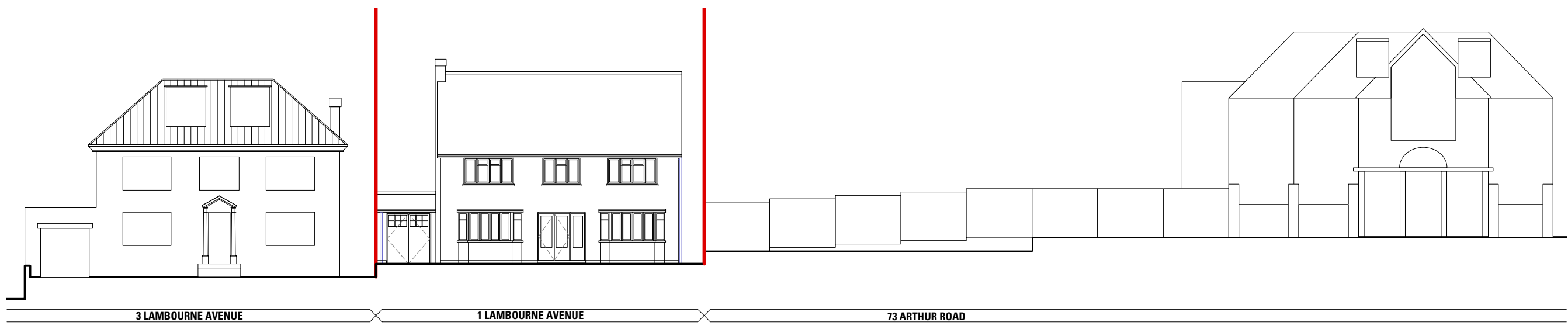
Drwg. No. & Revision  
**210-P-Site-P5**

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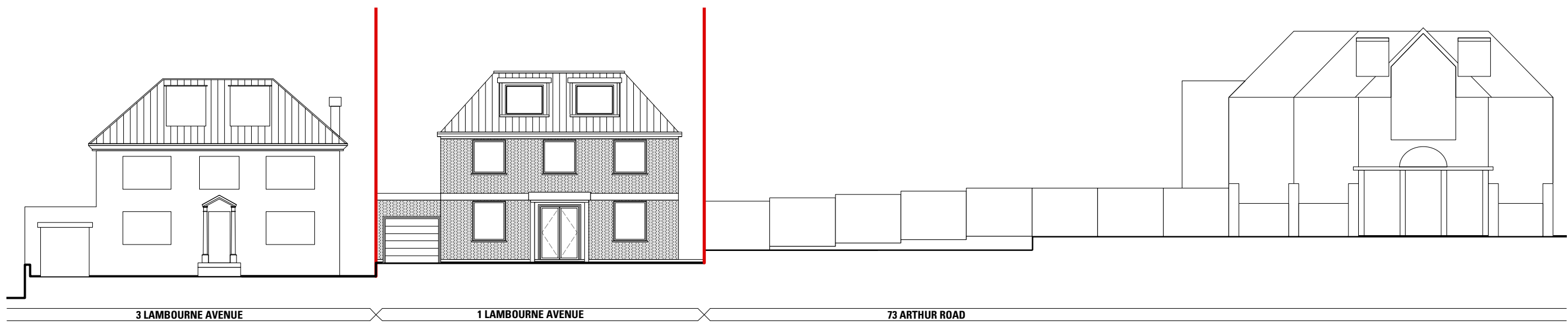
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02 Proposed Street Elevation  
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Revisions

P1	12/04/2023	Issued for Planning
P2	06/07/2023	Revision - Design Amended



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Drawing Title  
 Existing and Proposed Street Elevations

Status	Drawn	Checked
Planning	YC	RP
Scale	Date	
1:100@A1	1:200@A3	July 2023

Drwg. No. & Revision  
**210-P-GE03-P2**  
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01 Proposed Street Elevation



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